

SITE DEVELOPMENT PLANS FOR CENTRAL PARK RESTROOM AND PAVILION

C027-002
3171 PENNINGTON ST DR SW
COVINGTON, GA 30014
ZONING - NR-1

SHEET INDEX

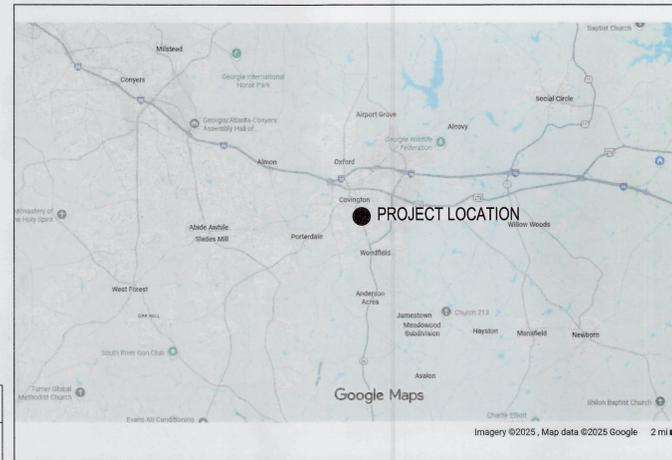
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C-1.0	GENERAL NOTES
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C-2.1	LAYOUT & STAKING PLAN
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ALPHA SITE SET 02-10-2026

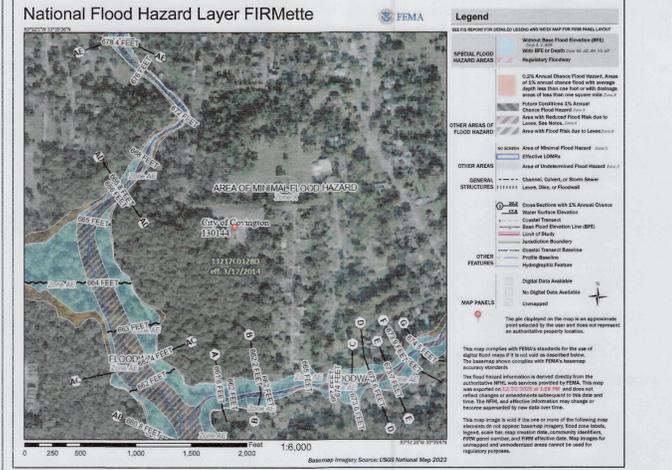
GSWCC CHECKLIST NUMBER (TYP) _____

DOCUMENT ABBREVIATIONS

GENERAL	UTILITY-SANITARY SEWER	UTILITY STORM	UTILITY-WATER	EASEMENT	SPOT ELEVATIONS	EROSION CONTROL AND WATER QUALITY	DEPARTMENTS / PERMITS / LICENSES
0 DIAMETER	CO CLEAN OUT	ACOMP ALUMINUM COATED CORRUGATED METAL PIPE	FDC FIRE DEPARTMENT CONNECTION	DE DRAINAGE EASEMENT	BC BOTTOM OF CURB	BMP BEST MANAGEMENT PRACTICE	AASHTO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
AC ACRES	FM FORCEMAN	BCOMP BITUMINOUS COATED CORRUGATED METAL PIPE	BP BACKFLOW PREVENTER	SE SANITARY SEWER EASEMENT	BP BOTTOM GRADE AT WALL	ASD AVERAGE RIP-RAP STONE DIAMETER	ADA AMERICAN WITH DISABILITIES ACT
APPRX APPROXIMATE	SAN SANITARY SEWER	DI DROP INLET	DDC DOUBLE DETECTOR CHECK VALVE	UE UTILITY EASEMENT	HP HIGH POINT	dmx MAXIMUM RIP-RAP STONE DIAMETER	ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
ARCH ARCHITECTURAL	SS SANITARY SEWER MANHOLE	DN DOUBLE WING CATCH BASIN	FD FIRE HYDRANT	UE UTILITY EASEMENT	LP LOW POINT	dmn MINIMUM RIP-RAP STONE DIAMETER	DMR DEPARTMENT OF NATURAL RESOURCES
BLDG BUILDING	SSMH SANITARY SEWER MANHOLE	DWBC DOUBLE WING CATCH BASIN	GH GATE VALVE	UE UTILITY EASEMENT	P PAVEMENT	dtc TIME OF CONCENTRATION	EPA ENVIRONMENT PROTECT AGENCY
BM BENCHMARK		GI GRATE INLET	HYD FIRE HYDRANT		TC TOP OF CURB	DT	EPD ENVIRONMENT PROTECT DIVISION
BOC BACK OF CURB		HDIPE HIGH DENSITY POLYETHYLENE	WM WATER METER		TW TOP OF GRADE AT WALL	EW	F.I.R.M. FLOOD INSURANCE RATE MAP
BSL BUILDING SETBACK LINE		HGI HOODED GRATE INLET	WV WATER VALVE			EW	FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
C COMPACT PARKING SPACE		HGL HYDRAULIC GRADE LINE				EW	FIS FLOOD INSURANCE STUDY
C&G CURB & GUTTER		HW HEADWALL				EW	DOT GEORGIA DEPARTMENT OF TRANSPORTATION
CO.C CERTIFICATE OF OCCUPANCY		JB JUNCTION BOX				EW	GPS GLOBAL POSITION SYSTEM
CL CENTERLINE		JOB JUNCTION BOX				EW	GRTA GEORGIA REGIONAL TRANSPORTATION AUTHORITY
CF CUBIC FEET		OC OUTLET CONTROL STRUCTURE				EW	GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
CFS CUBIC FEET/SECOND		OCPC OUTLET CONTROL STRUCTURE				EW	LDP LAND DISTURBANCE PERMIT
CL CENTERLINE		PCP REINFORCED CONCRETE PIPE				EW	LLO LIMITED LIABILITY CORPORATION
CN CURVE NUMBER		RD ROOF DRAIN				EW	LOD LIMITS OF DISTURBANCE
CONC CONCRETE		RDW RIGHT WING CATCH BASIN				EW	MTCO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
CY CUBIC YARD(S)		SD STORM DRAIN				EW	NPDDES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
DEG DEGREE(S)						EW	NPIP NATIONAL FLOOD INSURANCE PROGRAM
DEMO DEMOLITION						EW	NFPA NATIONAL FIRE PROTECTION AGENCY
DIAMETER DIAMETER						EW	NFCS NATIONAL RESOURCE CONSERVATION SERVICE
E EASTING						EW	PE PROFESSIONAL ENGINEER
ELEV ELEVATION						EW	PLA PROFESSIONAL LANDSCAPE ARCHITECT
EOP EDGE OF PAVEMENT						EW	RLS REGISTERED LAND SURVEYOR
EX EXISTING						EW	USGS UNITED STATES GEOLOGICAL SURVEY
EXT EXTENSION						EW	
FFE FINISHED FLOOR ELEVATION						EW	
FACE OF CURB						EW	
FT FOOT / FEET						EW	
FT/SEC FEET PER SECOND						EW	
GA GAUGE						EW	
GAB GRADE AGGREGATE BASE						EW	
GAL GALLONS						EW	
GPM GALLONS PER MINUTE						EW	
GSF GROSS SQUARE FOOTAGE						EW	
H HEIGHT						EW	
HV HORIZONTAL - VERTICAL						EW	
HC HANDICAP PARKING SPACE						EW	
HGL HYDRAULIC GRADE LINE						EW	
HORIZ HORIZONTAL						EW	
LF LINEAR FOOT						EW	
MAX MAXIMUM						EW	
ME MATCH EXISTING						EW	
MEP MECHANICAL, ELECTRICAL, AND PLUMBING						EW	
MIN MINIMUM						EW	
N NORTHING						EW	
NTS NOT TO SCALE						EW	
OC ON CENTER						EW	
OSSA OPEN SOIL SURFACE AREA						EW	
PR PROPOSED						EW	
PROPOSED FOUNDS PER SQUARE FOOT						EW	
Q FLOW RATE						EW	
Q #YEAR FLOW RATE						EW	
RW RIGHT-OF-WAY						EW	
REV REVISION						EW	
ROW RIGHT-OF-WAY						EW	
SQ SQUARE FOOT						EW	
SR STATE/SERVICE LINE						EW	
SRV SERVICE/SERVICE LINE						EW	
STD STANDARD						EW	
SVC SERVICE/SERVICE LINE						EW	
SY SQUARE YARD						EW	
TBA TO BE ABANDONED						EW	
TBF TO BE FILLED						EW	
TBR TO BE REMOVED						EW	
TCO TEMPORARY CERTIFICATE OF OCCUPANCY						EW	
TEMP TEMPORARY						EW	
TH THICKNESS						EW	
TPF TREE PROTECTION FENCING						EW	
TYP TYPICAL						EW	
VERT VERTICAL						EW	
W WIDTH						EW	
WSE WATER SURFACE ELEVATION						EW	
YR YEAR						EW	
ZDL ZONING DEMARCATION LINE						EW	
SURVEY							
ARC LENGTH OF CURVE						EW	
CH LENGTH OF CHORD						EW	
CMF CONCRETE MONUMENT FOUND						EW	
DB DEED BOOK						EW	
IFF IRON PIN FOUND						EW	
IPS IRON PIN SET - 1/2" REBAR						EW	
LL LAND LOT						EW	
OTP OPEN TOP PIPE						EW	
PL PROPERTY LINE						EW	
PB PLAT BOOK						EW	
PL PROPERTY LINE						EW	
POB POINT OF BEGINNING						EW	
R RADIUS OF CURVE						EW	
UTILITY-GENERAL							
CATV CABLE TELEVISION						EW	
DIP DUCTILE IRON PIPE						EW	
FO FIBER OPTIC						EW	
IE INVERT ELEVATION						EW	
INV INVERT ELEVATION						EW	
LPL LIGHT POLE						EW	
PP POWER POLE						EW	
PT POWER TELEPHONE POLE						EW	
PVC POLYVINYL						EW	
S TRAFFIC SIGNAL						EW	
TG TELECOMMUNICATIONS						EW	
TP TELEPHONE POLE						EW	
TPED UNDERGROUND CABLE TELEVISION LINE						EW	
TRANS TRANSFORMER						EW	
UGC UNDERGROUND CABLE TELEVISION LINE						EW	
UGP UNDERGROUND POWER LINE						EW	
UGT UNDERGROUND TELEPHONE						EW	
VCP VITRIFIED CLAY PIPE						EW	



VICINITY MAP NOT TO SCALE
GPS COORDINATES
N 33°35'21.60" W 83°51'45.98"
N 33.588848 W -83.863010



FLOOD MAP NOT TO SCALE

LEGEND

APPRX APPROXIMATE	DA DIAMETER	GM GAS METER	ONE OVER HEAD POWER	SS SANITARY SEWER
BLDG BUILDING	DS DOWNSPOUT	GP GUY POLE	PG PLAT BOOK	SSMH SANITARY SEWER MANHOLE
BM BENCHMARK	DWBC DOUBLE WING CATCH BASIN	GV GAS VALVE	PLC PLAT CLERK	SWCS SINGLE WING CATCH BASIN
BOC BACK OF CURB	EMSPY EMPTY	ICV INVERT ELEVATION	PL PROPERTY LINE	TWC TRAFFIC CONTROL BOX
BSL BUILDING SETBACK LINE	ES&P EROSION, SEDIMENTATION, AND POLLUTION CONTROL	IE INVERT ELEVATION	POB POINT OF BEGINNING	TWP TAX MAP PARCEL
C COMPACT PARKING SPACE	FE FIRE DEPARTMENT CONNECTION	IPF IRON PIN FOUND	PP POWER POLE	W WATER
C&G CURB & GUTTER	FFE FINISH FLOOR ELEVATION	JB JUNCTION BOX	PVC POLYVINYL CHLORIDE PIPE	WM WATER METER
CL CENTERLINE	CF CLEAN OUT	JK JUNCTION BOX	RF REBAR FOUND	WV WATER VALVE
CO.C CERTIFICATE OF OCCUPANCY	CP CORRUGATED PLASTIC PIPE	LA LOCAL ISSUING AUTHORITY	RE REINFORCED CONCRETE PIPE	
CL CENTERLINE	CTF CRIMP TOP FOUND	LP LIGHT POLE	RW RIGHT OF WAY	
CFS CUBIC FEET/SECOND	DB DEED BOOK	LS LIGHT BOX	SMH STORM MANHOLE	
CL CENTERLINE				
CN CURVE NUMBER				
CONC CONCRETE				
CY CUBIC YARD(S)				
DEG DEGREE(S)				
DEMO DEMOLITION				
DIAMETER DIAMETER				
E EASTING				
ELEV ELEVATION				
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EX EXISTING				
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HV HORIZONTAL - VERTICAL				
HC HANDICAP PARKING SPACE				
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HORIZ HORIZONTAL				
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WSE WATER SURFACE ELEVATION				
YR YEAR				
ZDL ZONING DEMARCATION LINE				
STANDARD ABBREVIATIONS				
APPRX APPROXIMATE	DA DIAMETER	GM GAS METER	ONE OVER HEAD POWER	SS SANITARY SEWER
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GPM GALLONS PER MINUTE				
GSF GROSS SQUARE FOOTAGE				
H HEIGHT				
HV HORIZONTAL - VERTICAL				
HC HANDICAP PARKING SPACE				
HGL HYDRAULIC GRADE LINE				

ALPHA SITE SET 02-10-2026

NOT FOR RECORDING

THIS PLAT CONSTITUTES A TOPOGRAPHICAL SURVEY ONLY AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE SURVEYOR'S CERTIFICATION EXTENDS ONLY TO THE TOPOGRAPHIC ASPECTS. THIS PLAT SHALL NOT BE RECORDED NOR USED TO CONVEY PROPERTY. THE BOUNDARY INFORMATION, AS SHOWN, WAS TAKEN FROM A PLAT AND SURVEY BY PATRICK & ASSOCIATES, INC., DATED 03/18/1989 AND RECORDED IN PLAT BOOK 33, PAGE 168, NEWTON COUNTY RECORDS.

- SURVEY NOTES:
- THE DATUM FOR THIS SITE WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS AND THE BASED REFERENCE FRAME ON POSITIONAL VALUES FOR THE VIRTUAL REFERENCE STATION NETWORK DEVELOPED BY EGPS SOLUTIONS. THE HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83).
 - THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. SUBJECT AND ADJACENT PROPERTY OWNERS' DEED AND PLAT REFERENCES WERE OBTAINED BY GEORGIA CIVIL, INC. AND ARE NOT GUARANTEED AS TO ACCURACY NOR COMPLETENESS.
 - ALL DEED AND PLAT BOOK REFERENCES AS SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURTS OFFICE OF NEWTON COUNTY, GEORGIA.
 - STRUCTURES VISIBLE ON THE DATE OF THE SURVEY ARE AS SHOWN HEREON. ALL LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
 - A PORTION OF THIS PROPERTY IS LOCATED IN ZONE "AE" AND IS SHOWN TO BE LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA, PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 132170128D, EFFECTIVE DATE: 03/17/2014. THIS STATEMENT IS BASED ON GRAPHICALLY LOCATING THE SUBJECT PROPERTY ON SAID MAP. NO ADDITIONAL FIELD WORK HAS BEEN COMPLETED TO VERIFY THIS INFORMATION.
 - THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE. THE TERM "CERTIFICATION" AS USED IN RULE 186-9-1(2)(d) AND (2)(e) AND RELATING TO PROFESSIONAL ENGINEERING OR LAND SURVEYING SERVICES, AS DEFINED IN O.C.G.A. 43-15-2(6) AND (1), SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED.
 - THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-8-47, IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
 - UTILITIES, AS SHOWN HEREON, ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE ONLY. THE SURVEYOR DOES NOT WARRANT THE EXACT SIZE, TYPE, LOCATION, ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING THE ABOVE GROUND UTILITIES AND STRUCTURES. NO GUARANTEE IS MADE THAT OTHER UTILITIES MAY EXIST ON THE SITE, THAT MAY NOT BE SHOWN.
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS AN AVERAGE RELATIVE ACCURACY OF 0.03 FEET AT A 95% CONFIDENCE. LEVEL AND HAS NOT BEEN ADJUSTED. THE LINEAR AND ANGULAR MEASUREMENTS SHOWN ON THIS PLAT WERE OBTAINED BY UTILIZING A GEOMAX ROBOTIC TOTAL STATION AND A CARLSON BR7 GPS UNIT (MFG#192.168.10.1) IN THE PREPARATION OF THIS PLAT. THE FIELD MEASUREMENTS WERE COMPLETED ON 11/19/2025.
 - THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAYS AND EASEMENTS OF RECORD.
 - IN MY OPINION, THIS IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.
 - THIS PLAT HAS BEEN COMPLETED FOR THE USE AND PURPOSE OF THE CLIENT ASCRIBED AND CONTRACTED WITH HEREON. ALL OTHER PARTIES ARE SUBSEQUENTLY PUT ON NOTICE AS TO THE LIMITED DEGREE OF RELIANCE UPON THIS PLAT BY THIRD PARTIES.
 - THE TOPOGRAPHICAL INFORMATION, SHOWN HEREON, IS BASED ON FIELD SURVEYED DATA. ELEVATIONS SHOWN ARE BASED ON NAVD88 (COMPUTED USING GEOID18).

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

LUNSFORD CIRCLE
(PB 30, PG 181 - PB 33, PG 168)
SUBJECT TO RW AND/OR EASEMENT

ZONED: NR-2
TMP: C027-0011-003
TURNER LAND LTD. CO.
DB 3804, PG 22

ZONED: NR-1
TMP: C027-0011-002B
DANIEL C. CHAPMAN, III
DB 3672, PG 218 / PB 48, PG 246

ZONED: NR-1
TMP: C028-0001-026
LOT NO. 20
PATRICK & SHAUNA GOLDEN
DB 4355, PG 80

ZONED: NR-1
TMP: C028-0001-021
LOT NO. 21
JAMES F. BULLARD
DB 163, PG 579 / PB 3, PG 226

ZONED: NR-1
TMP: C028-0001-036
LOT NO. 22
SUSAN J. TORBUSH
DB 2065, PG 582 / PB 3, PG 226

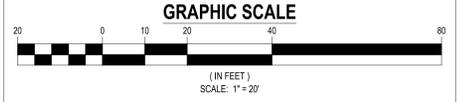
ZONED: NR-1
TMP: C028-0001-035
LOT NO. 23
ANTHONY CLARK McLAUGHLIN
DB 3094, PG 205 / PB 13, PG 273



COORDINATE TABLE

POINT	NORTHING	EASTING	ELEV.	DESC.
107	1305869.65330	2389211.48490	724.08	CNS
108	1305901.84990	2388968.65720	720.57	CNS
109	1305630.78700	2389301.01030	713.26	CNS

ELEVATIONS SHOWN IN FEET-NAVD 88-GEOD12A



LEGEND

- = IRON PIN SET (1/2" REBAR)
- △ = CONTROL POINT
- = IRON PIN FOUND
- = ELECTRIC BOX
- ⊙ = ELECTRIC METER
- P = LIGHT POLE
- ⊗ = SIREN POLE
- ⊞ = ELECTRIC TRANSFORMER
- ⊕ = SANITARY SEWER MAN HOLE
- ⊗ = TRASH CAN
- ⊙ = OAK TREE
- ⊙ = MAPLE TREE
- SS- = SANITARY SEWER LINE
- APPROX. = APPROXIMATE
- C&G = CURB & GUTTER
- ⊙ = CENTER LINE
- CONC = CONCRETE
- DB = DEED BOOK
- EX = EXISTING
- IE = INVERT ELEVATION
- LL = LAND LOT
- LL.L = LAND LOT LINE
- OTF = OPEN TOP FOUND
- R = PROPERTY LINE
- PB = PLAT BOOK
- PG = PAGE
- RW = RIGHT OF WAY
- RBF = REBAR FOUND
- SF = SQUARE FEET
- TC = TERRA COTTA CLAY PIPE
- TMP = TAX MAP PARCEL

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LAND SURVEYING

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www.georgiacivil.com

GEORGIA PROFESSIONAL ENGINEER
No. 2629
BRIAN SLATE
SURVEYOR

SURVEYED BY:
G. BRIAN SLATE, RLS#2629
C: 706-201-0996
bslate@georgiacivil.com

THE SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-8-47, AS AMENDED BY HB104 (2019).

CERTIFICATE OF AUTHORIZATION LSF001055
Project Information

SURVEY FOR:
THE CITY OF COVINGTON
IN THE LAND LOT 249 OF THE 9th DISTRICT
IN THE CITY OF COVINGTON
NEWTON COUNTY, GEORGIA

CREW CHIEF: GB

SURVEYED: 09/24/2025

DRAWING DATE: 09/26/2025

DRAWN BY: MP

CHECKED BY: GBS

REVISIONS

DATE	DESCRIPTION
12/16/2025	ADDITIONAL TOPO

SCALE: 1"=20'

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Sheet Title

TOPOGRAPHICAL,
AND EXISTING
CONDITIONS
SURVEY

Sheet Number

TS-1

ALPHA SITE SET 02-10-2026

NOTES:

ACCESSIBLE ROUTES:

MINIMUM CLEAR WIDTH IS 3'. IF ACCESSIBLE ROUTE HAS LESS THAN 5' CLEAR WIDTH, THEN PASSING SPACES AT LEAST 5'X5' SHALL BE LOCATED EVERY 200' OR LESS (INTERSECTING SIDEWALKS MEET THIS REQUIREMENT). LONGITUDINAL SLOPE MAY NOT EXCEED 5% UNLESS A RAMP IS INSTALLED. RAMPS MAY NOT EXCEED 8.33%. CROSS SLOPES MAY NOT EXCEED 2%. GAPS IN ROUTE MAY NOT EXCEED 1/2" WIDTH.

FINISHED GRADE HEIGHT DIFFERENCE REQUIREMENT:

DIFFERENCE	REQUIREMENT
0" TO 1/4"	NO REQUIREMENT
1/4" TO 1/2"	BEVEL (1:2 SLOPE)
1/2" TO 1"	RAMP (SEE RAMP REQUIREMENTS)

RAMPS:

MAXIMUM RAMP LONGITUDINAL SLOPE IS 8.33% (1:12)
 MAXIMUM RISE OF ANY RAMP RUN IS 30"
 MAXIMUM CROSS SLOPE IS 2% (1:50)
 RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP
 LANDINGS SHALL MATCH WIDTH OF RAMP
 LANDINGS SHALL BE A MINIMUM 5' CLEAR
 IF RAMPS CHANGE DIRECTION AT LANDING, LANDING SHALL BE A MINIMUM 5'X5'
 NO LANDING SHALL HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION

HANDRAILS:

HANDRAILS ARE REQUIRED ON BOTH SIDES WHEN RAMP RISE IS GREATER THAN 6"
 PROVIDE 12" LONG HANDRAIL EXTENSION AT TOP AND BOTTOM LANDINGS
 PROVIDE MIN. 2" HIGH EDGE PROTECTION OR RAIL WITH LESS THAN 4" CLEAR TO RAMP IF RAMP HAS DROP OFFS

CURB RAMPS:

MAXIMUM SLOPE IS 8.33% (1:12)
 MAXIMUM SLOPE OF SIDE FLARES IS 10%
 MAXIMUM SLOPE OF ROUTE ADJOINING RAMP IS 5%
 MINIMUM WIDTH OF RAMP (EXCLUDING FLARES) IS 3'
 DETECTABLE WARNING IS REQUIRED AT CURB RAMPS ADJOINING PUBLIC RIGHTS OF WAYS. WARNING STRIPS SHALL BE MINIMUM 24" IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP

FIELD ADJUSTMENT NOTE

FIELD ADJUSTMENTS TO GRADES, CURB, AND SIDEWALK SHALL BE MADE AS NECESSARY TO MAINTAIN ADA COMPLIANCE. NO ADA RAMP SHALL BE CONSTRUCTED WITHOUT POSITIVE DRAINAGE AND COMPLIANT LANDINGS.

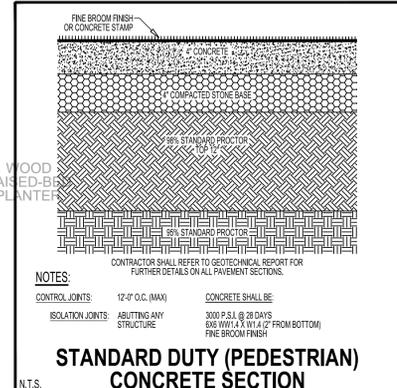
ADA COMPLIANCE NOTE

ALL ADA RAMPS SHALL COMPLY WITH THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN, INCLUDING BUT NOT LIMITED TO MAXIMUM RUNNING SLOPES, CROSS SLOPES, LANDING REQUIREMENTS, FLARED SIDES (IF NECESSARY), DETECTABLE WARNING SURFACES, AND TRANSITION TO ADJACENT WALKS AND PAVEMENT. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND ADJUST GRADES AS REQUIRED TO MAINTAIN ADA COMPLIANCE.

ADA RAMP DETAIL

ALL ADA SIDEWALK RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIAL DETAIL CONCRETE SIDEWALK DETAILS - CURB CUT (WHEELCHAIR) RAMPS, GDOT DETAIL A3, DATED MARCH 12, 2022, UNLESS OTHERWISE NOTED

ED: NR-1
 C027-002
 F COVINGTON
 92 / PB 33, PG 168



PAVING LEGEND:



NOTES:

- ALL STRIPING SHOWN INCLUDING ARROWS, STOPBARS, AND PARKING SPACES REFLECTS STRIPING TO BE DONE BY CONTRACTOR.
- ALL PAVEMENT MARKINGS SHALL BE INSTALLED PRIOR TO ACCEPTANCE BY THE LIA AND/OR ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INITIAL INSTALLATION OF STOP SIGNS.

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 #53274 - EXP. 05.01.2026

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 CONTACT: MIKE MCCROREY
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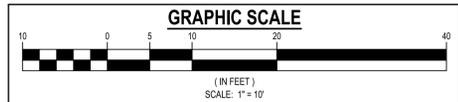
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 COMPANY: GEORGIA CIVIL, INC.
 SURVEYOR: BRIAN SLATE
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SITE DESIGNER
 COMPANY: GEORGIA CIVIL, INC.
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Utilities shown are for Contractor's convenience. Items are shown schematically and neither the site design professional nor the owner assumes any responsibility for accuracy in their actual location. This plan may not show and/or may incorrectly show utilities located on site. Contractor shall be responsible to secure and use the services of a private utility locator firm during the entire course of work and shall pay for said services. Contractor shall locate utilities prior to any disturbance including field verifying location and depth of utilities that are to be saved and protected. Contractor shall notify the site design professional of any utility conflicts prior to installation of new utilities, grading, etc. The Contractor, at their expense, shall be responsible to repair, replace and/or indicate, as necessary, any utilities damaged, whether shown or not. Abandonment, relocation, etc. of utilities shall be coordinated with the respective utility company.



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Project Information

CENTRAL PARK RESTROOM AND PAVILION
 3171 PENNINGTON ST DR SW
 COVINGTON, GA 30014
 ZONING: NR-1

DRAWING DATE: 1.22.26
 DRAWN BY: MCS
 CHECKED BY: JPB

REVISIONS	
DATE	DESCRIPTION

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LAYOUT & STAKING PLAN

Sheet Number
C-2.1

ALPHA SITE SET 02-10-2026

ZONED: NR-1
 TMP: C027-002
 THE CITY OF COVINGTON
 DB 3236, PG 592 / PB 33, PG 168



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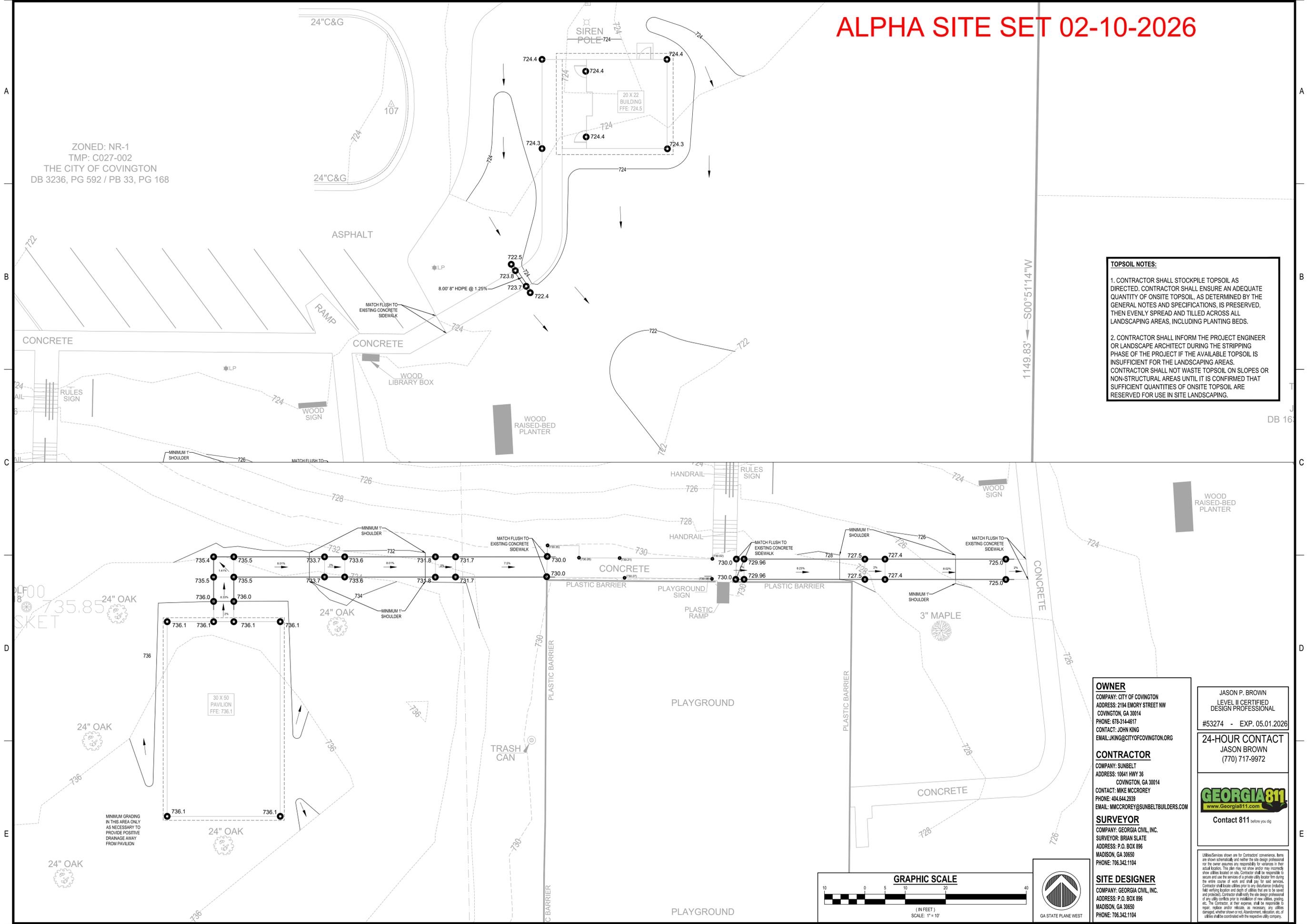


Project Information

TOPSOIL NOTES:

1. CONTRACTOR SHALL STOCKPILE TOPSOIL AS DIRECTED. CONTRACTOR SHALL ENSURE AN ADEQUATE QUANTITY OF ONSITE TOPSOIL, AS DETERMINED BY THE GENERAL NOTES AND SPECIFICATIONS, IS PRESERVED, THEN EVENLY SPREAD AND TILLED ACROSS ALL LANDSCAPING AREAS, INCLUDING PLANTING BEDS.
2. CONTRACTOR SHALL INFORM THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT DURING THE STRIPPING PHASE OF THE PROJECT IF THE AVAILABLE TOPSOIL IS INSUFFICIENT FOR THE LANDSCAPING AREAS. CONTRACTOR SHALL NOT WASTE TOPSOIL ON SLOPES OR NON-STRUCTURAL AREAS UNTIL IT IS CONFIRMED THAT SUFFICIENT QUANTITIES OF ONSITE TOPSOIL ARE RESERVED FOR USE IN SITE LANDSCAPING.

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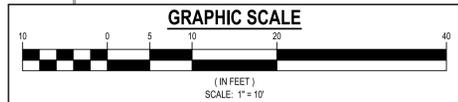
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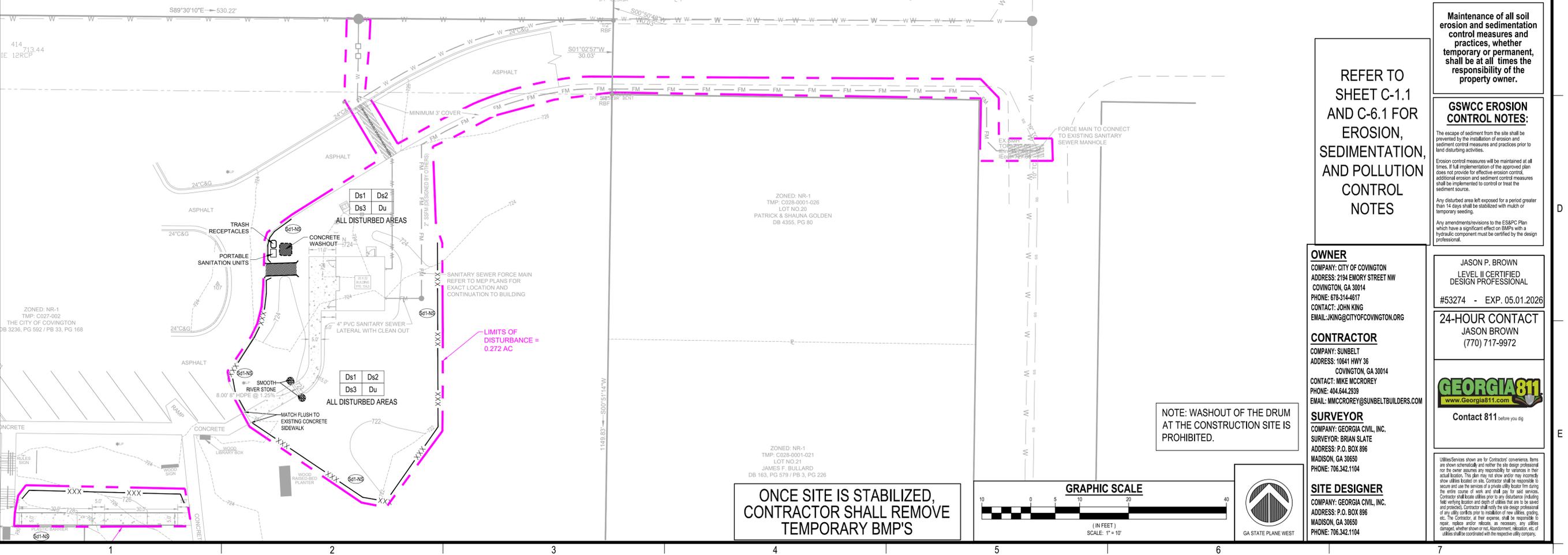
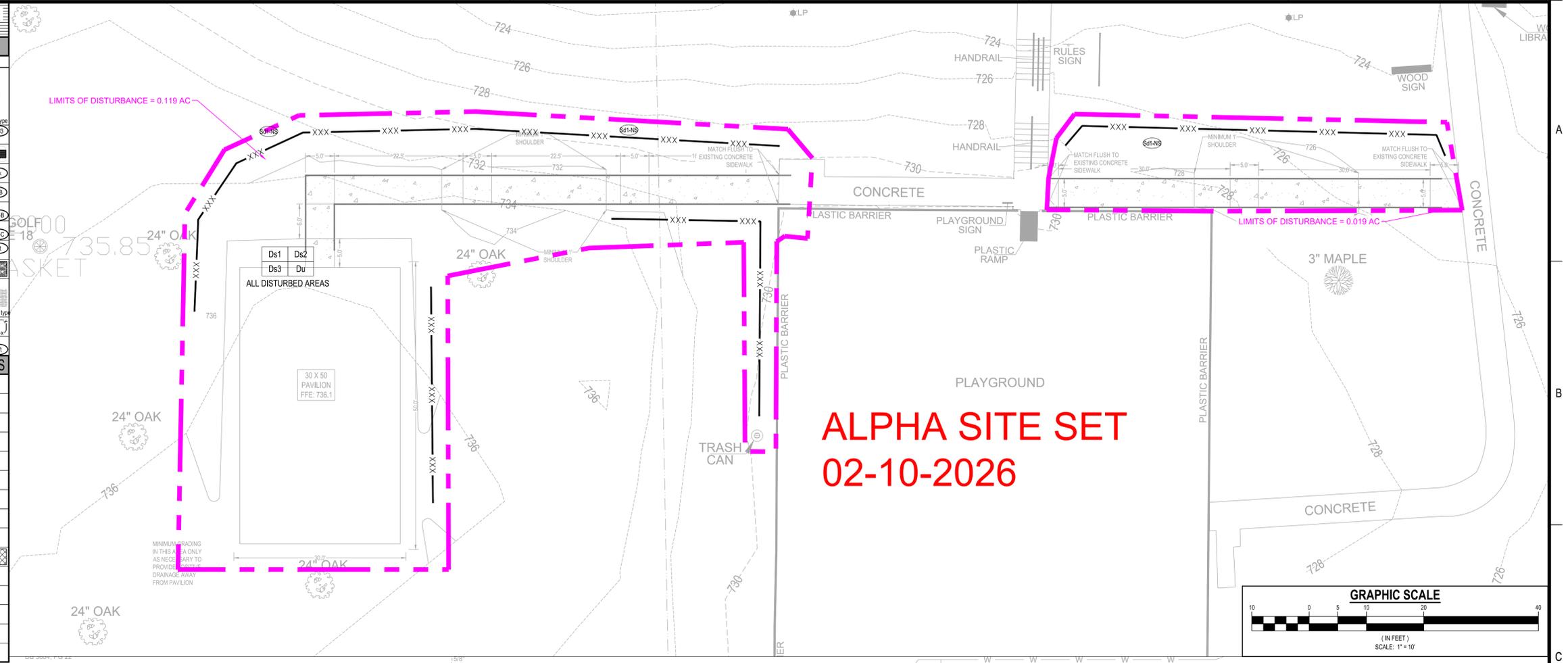
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OVERALL GRADING PLAN

Sheet Number
C-3.0

GEORGIA UNIFORM CODING SYSTEM SOIL EROSION & SEDIMENT CONTROL					
STRUCTURAL PRACTICES					
Code	Practice	Symbol	Code	Practice	Symbol
Cs1-Fs	Concrete Filter Sock	(Cs1-Fs)	Ss2-S	Inlet Sediment Trap (Gravel Drop Inlet Protection)	(Ss2-S)
Cs2-Fs	Straw-Bale Check Dams	(Cs2-Fs)	Ss2-S	Inlet Sediment Trap (Curb Inlet Protection)	(Ss2-S)
Cs2-S	Stone Check Dams	(Cs2-S)	Ss2-S	Temporary Sediment Basin	(Ss2-S)
Ch-1	Channel Stabilization (Vegetated/Sod)	(Ch-1)	Ss2-S	Temporary Sediment Trap	(Ss2-S)
Ch-2	Channel Stabilization (Concrete)	(Ch-2)	Ss2-S	Plastic Filter Surface Summer	(Ss2-S)
Ch-3	Channel Stabilization (Concrete)	(Ch-3)	Ss2-S	Seep Berm	(Ss2-S)
Cr	Construction Road	(Cr)	Ss2-S	Temporary Stream Crossing (Bridge)	(Ss2-S)
Cr	Construction Road	(Cr)	Ss2-S	Temporary Stream Crossing (Log Art)	(Ss2-S)
DcA	Stream Diversion Channel (Grass/Straw or Plastic)	(DcA)	Ss2-S	Storm Drain Outlet Protection	(Ss2-S)
DcB	Stream Diversion Channel (Grass/Straw)	(DcB)	Ss2-S	Surface Roughening	(Ss2-S)
DcC	Stream Diversion Channel (Grass/Straw)	(DcC)	Ss2-S	Turbidity Curtain (Floating)	(Ss2-S)
D	Diversion	(D)	Ss2-S	Turbidity Curtain (Staked)	(Ss2-S)
Dn1	Temporary Downstream Structure	(Dn1)	Ss2-S	Topsoiling	(Ss2-S)
Dn2	Permanent Downstream Structure	(Dn2)	Ss2-S	Vegetated Waterway or Stormwater Conveyance Channel	(Ss2-S)
Fr	Filter Ring	(Fr)	Ss2-S	Buffer Zone	(Ss2-S)
Ga	Gabion	(Ga)	Ss2-S	Control Dune Stabilization (w/ Vegetation)	(Ss2-S)
Gr	Grade Stabilization Structure	(Gr)	Ss2-S	Disturbed Area Stabilization (w/ Mulching Only)	(Ss2-S)
Lv	Level Spreader	(Lv)	Ss2-S	Disturbed Area Stabilization (w/ Permanent Vegetation)	(Ss2-S)
Rd	Rock Filter Dam	(Rd)	Ss2-S	Disturbed Area Stabilization (w/ Seeding)	(Ss2-S)
Re	Retaining Wall	(Re)	Ss2-S	Disturbed Area Stabilization (w/ Seeding)	(Ss2-S)
Rb	Retiwall (Sheet Pile Dam w/ Stone or Filter Fabric)	(Rb)	Ss2-S	Dust Control on Disturbed Area	(Ss2-S)
RbP	Retiwall (Perforated Wall-Round Pipe w/ Stone Filter)	(RbP)	Ss2-S	Flocculants Coagulants	(Ss2-S)
RbS	Retiwall (Silt Control Gate)	(RbS)	Ss2-S	Streambank Stabilization (Using Permanent Vegetation)	(Ss2-S)
Ss1-B	Sediment Barrier (Type I - Brush Barrier)	(Ss1-B)	Ss2-S	Slope Stabilization (Rock Erosion Control Products (RECPs))	(Ss2-S)
Ss1-NS	Sediment Barrier (Type II - Non-Sensitive Areas)	(Ss1-NS)	Ss2-S	Tackifiers, Type I (Synthetic Polymers)	(Ss2-S)
Ss1-S	Sediment Barrier (Type III - Sensitive Areas)	(Ss1-S)	Ss2-S	Tackifiers, Type II (Organic Polymers)	(Ss2-S)
Ss1-C	Sediment Barrier (Type IV - Congest Filter Media Sock)	(Ss1-C)	Ss2-S	Tackifiers, Type III (Organic Blends)	(Ss2-S)
Ss2-B	Inlet Sediment Trap (Baffle Box)	(Ss2-B)	Ss2-S	Tackifiers, Type IV (Organic Tackifiers w/ Synthetic Fibers)	(Ss2-S)
Ss2-S	Inlet Sediment Trap (Block & Gravel Drop Inlet Protection)	(Ss2-S)	Ss2-S	Tackifiers, Type V (Synthetic Polymers w/ Synthetic Fibers)	(Ss2-S)
Ss2-S	Inlet Sediment Trap (Erosion/Inlet Sediment Trap)	(Ss2-S)	Ss2-S		
Ss2-F	Inlet Sediment Trap (Filter Media Sock w/ Supporting Frame)	(Ss2-F)	Ss2-S		



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Project Information

CENTRAL PARK RESTROOM AND PAVILION
3171 PENNINGTON ST DR SW
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ZONING: NR-1

Maintenance of all soil erosion and sedimentation control measures and practices, whether temporary or permanent, shall be at all times the responsibility of the property owner.

GSWCC EROSION CONTROL NOTES:
The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities.
Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.
Any amendments/revisions to the ES&PC Plan which have a significant effect on BMP's with a hydraulic component must be certified by the design professional.

REFER TO SHEET C-1.1 AND C-6.1 FOR EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES

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Sheet Title
INTERMEDIATE ES&PC PLAN
Sheet Number
C-6.3

