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CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

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Professional Seal



Project Information

COVINGTON FIRE STATION #23
9155 HIGHWAY 36
COVINGTON, GA 30014
ZONING: CM - CORRIDOR MIXED USE

DRAWING DATE: 5/15/2026
DRAWN BY: DLD
CHECKED BY: JPB

REVISIONS
DATE: 5/15/2026 DESCRIPTION: ADD COMMENTS

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Sheet Title

UTILITY PLAN

Sheet Number

C-5.0

CITY OF COVINGTON GENERAL SANITARY SEWER NOTES:

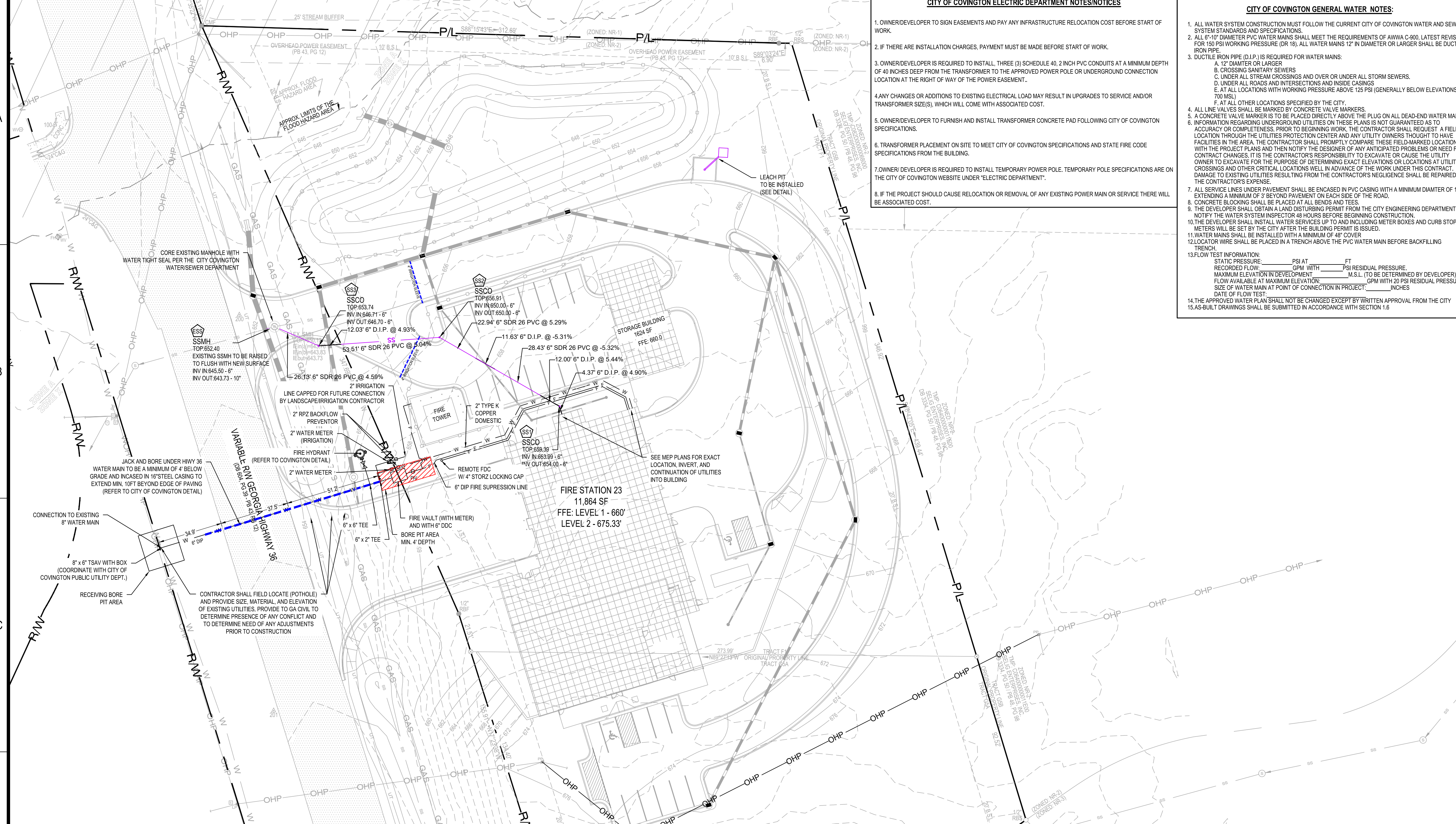
- 1. ALL SANITARY SEWER SYSTEM CONSTRUCTION MUST FOLLOW THE CURRENT CITY OF COVINGTON WATER & SEWER STANDARDS AND SPECIFICATIONS.
2. ALL 12" DIAMETER P.V.C. WATER MAINS SHALL MEET THE REQUIREMENTS OF AWWA C-900, LATEST REVISION FOR 150 PSI WORKING PRESSURE (OR 18" ALL WATER MAINS 12" IN DIAMETER OR LARGER SHALL BE DUCTILE IRON PIPE.
3. ALL POLYETHYLENE GLASS REINFORCED (P.E.R.T.) SEWER OR WATER MAINS SHALL MEET THE MINIMUM WALL THICKNESS AS SPECIFIED UNDER SDR 35 IN ASTM D3034, LATEST REVISION. P.V.C. SEWERS THAT ARE 18" IN DIAMETER SHALL HAVE A MINIMUM WALL THICKNESS AS SPECIFIED UNDER 1.1 IN ASTM F879, LATEST REVISION. P.V.C. SEWERS WITH MORE THAN 4" OF COVER MAY REQUIRE WALL THICKNESSES GREATER THAN SDR 35 OR 1.1. P.V.C. IS NOT ALLOWED FOR SEWERS GREATER THAN 18" IN DIAMETER OR MORE THAN 14' OF COVER.
4. DUCTILE IRON PIPE IS REQUIRED FOR SANITARY SEWER LINE:
a. OVER OR UNDER ALL STORM SEWERS
b. CROSSING WATER MAINS
c. UNDER ALL STREAM CROSSINGS
d. WITH LESS THAN 4" OF COVER OR OVER 14' OF COVER
e. WITH 15% OR GREATER SLOPE
f. WHERE VELOCITIES EXCEED 10 FT/SEC
g. INSIDE CASINGS
h. AT ALL OTHER LOCATIONS SPECIFIED BY THE CITY
5. INFORMATION REGARDING UNDERGROUND UTILITIES ON THESE PLANS IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL REQUEST A FIELD LOCATION THROUGH THE UTILITIES PROTECTION CENTER AND ANY UTILITY OWNERS THOUGHT TO HAVE FACILITIES IN THE AREA. THE CONTRACTOR SHALL PROMPTLY COMPARE THESE FIELD-MARKED LOCATIONS WITH THE PROJECT PLANS AND THEN NOTIFY THE DESIGNER OF ANY ANTICIPATED PROBLEMS OR NEED FOR CONTRACT CHANGES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXCAVATE OR CAUSE THE UTILITY OWNER TO EXCAVATE FOR THE PURPOSE OF DETERMINING EXACT ELEVATIONS OR LOCATIONS AT UTILITY CROSSINGS AND OTHER CRITICAL LOCATIONS WELL IN ADVANCE OF THE WORK UNDER THIS CONTRACT. DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
6. ALL SEWER SERVICE LATERALS SHALL HAVE A MINIMUM DIAMETER OF 4".
7. THE DEVELOPER SHALL OBTAIN A PERMIT FROM THE CITY AND NOTIFY THE SEWER SYSTEM INSPECTOR 48 HOURS BEFORE BEGINNING CONSTRUCTION.
8. THE PROJECT IS LOCATED ON LAND LOT 232, 21ST DISTRICT OF NEWTON COUNTY, GEORGIA.
9. THE EXISTING LAND USE IS CM CORRIDOR MIXED USE DISTRICT.
10. THE DEVELOPER IS CITY OF COVINGTON 11234 ALCOVY RD, COVINGTON, GA 30014. CONTACT TRUDY HENRY AT TRUDY.HENRY@COVINGTON-NEWTON.GA.GOV OR 770-342-2350.
11. THE 24 HOUR CONTACT FOR NEWTON AND SEDIMENT CONTROL IS MIKE MCCROREY (404) 644-2939.
12. THIS PROJECT IS 3.03 AC.
13. THE PROJECT IS THE DEVELOPMENT OF A CITY OF COVINGTON FIRE STATION AND EMERGENCY SERVICES OFFICES.
14. ADJACENT AREAS INCLUDE RESIDENTIAL ZONED PROPERTIES.
15. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES AND EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR REDUCE SEDIMENT SOURCE.
16. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF THE DAY.
17. THERE IS ONE FLOODPLAIN ALONG THE NORTHERN EDGE OF THIS PROPERTY AS PER FIRM PANEL 132101280 DATED 08/11/2015. NO WORK IS BEING DONE WITHIN A FLOODPLAIN. THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.
18. ALL FILL SLOPES WILL BE MAINTAINED AT THE DESIGN SLOPE.
19. A 25-35 FT UNDISTURBED VEGETATIVE BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL BE MAINTAINED.
20. CLEARING WILL BE KEPT TO AN ABSOLUTE MINIMUM. VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER GRADING IS COMPLETE. LAND DISTURBING WILL BE SCHEDULED TO LIMIT EXPOSURE OF BARE SOILS TO EROSION ELEMENTS.
21. CONSTRUCTION ACTIVITIES WILL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
22. ALL MARKETABLE TIMBER WILL BE SALVAGED. STOCK PILED AND SPREAD ON AREAS TO BE VEGETATED. TREES OUTSIDE CLEARING LINE WILL BE PROTECTED FROM DAMAGE BY APPROPRIATE MARKINGS. SUPPLEMENTAL VEGETATION WILL BE ESTABLISHED.
23. CLEANOUT OR SEDIMENT CONTROL STRUCTURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON SITE. SEDIMENT BARRIERS WILL REMAIN IN PLACE UNTIL SEDIMENT AND CONTRIBUTING AREAS ARE STABILIZED.
24. CONTRACTOR IS RESPONSIBLE FOR THE STAKING ALIGNMENT OF THE PROPOSED PIPELINE PRIOR TO PIPE INSTALLATION. IF A CONFLICT SHOULD ARISE THE CONTRACTOR SHALL NOTIFY THE DESIGNER AT THAT TIME.
25. ALL EXCAVATED DIRT SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH AWAY FROM ANY CREEKS. ANY FILL DIRT OVER THE PIPE SHALL BE GRADED TO PREVENT FLOODING.
26. THE CONSTRUCTION EASEMENT REPRESENTS THE LIMITS OF CLEARING FOR THE COMPLETE JOB. THE CONTRACTOR SHALL NOT CLEAR BEYOND THIS LIMIT.
27. THERE SHALL BE NO CHANGE IN PRECONSTRUCTION CONTOURS (EXCESS MATERIAL MUST BE REMOVED TO AN UPLAND DISPOSAL AREA).
28. BANK STABILIZATION (RIP-RAP) SHALL ONLY BE PLACED WHERE NECESSARY FOR EROSION PREVENTION. NO RIP-RAP SHALL BE PLACED IN EXCESS OF THE MINIMUM NEEDED FOR EROSION PROTECTION.
29. NO RIP-RAP SHALL BE PLACED IN ANY WETLAND AREA OR IN ANY LOCATION OR MANNER TO IMPAIR SURFACE WATER FLOW INTO OR OUT OF ANY WETLAND AND AREAS.
30. DISCHARGES OF DREDGED OR FILL MATERIALS INTO CREEK SHALL BE AVOIDED OR MINIMIZED THROUGH THE USE OF OTHER PRACTICAL ALTERNATIVES.
31. DISCHARGES OF FILL IN SPAWNING AREAS DURING SPAWNING SEASON SHALL BE AVOIDED.
32. DISCHARGES OF FILL SHALL NOT RESTRICT OR IMPURE THE MOVEMENT OF AQUATIC SPECIES INDIGENOUS TO THE WATERS OR PASSAGE OF NORMAL OR EXPECTED HIGH FLOWS OR CAUSE THE RELOCATION OF THE WATER (UNLESS THE PRIMARY PURPOSE OF THE FILL IS TO IMPOUND WATER).
33. DISCHARGING INTO BREEDING AREAS FOR MIGRATORY WATERFOWL SHALL BE AVOIDED.
34. ALL TEMPORARY FILL SHALL BE REMOVED IN THEIR ENTIRETY OR ELASTIC OR WITH MECHANIZED EXCAVATING EQUIPMENT OR ANY TRACT OR PARCEL OF LAND IN THIS COUNTY UNTIL THE PERSON PLANNING THE BLASTING OR EXCAVATING HAS GIVEN 48 HOURS NOTICE BY SUBMITTING A LOCATE REQUEST TO THE UTILITIES PROTECTION CENTER, BEGINNING THE NEXT BUSINESS DAY AFTER SUCH NOTICE IS PROVIDED. EXCLUDING HOURS DURING DAYS OTHER THAN BUSINESS DAYS. ANY LOCATE REQUEST RECEIVED BY THE UTILITIES PROTECTION CENTER AFTER BUSINESS HOURS SHALL BE DEEMED TO HAVE BEEN RECEIVED BY THE UTILITIES PROTECTION CENTER THE NEXT BUSINESS DAY.

CITY OF COVINGTON GENERAL WATER NOTES:

- 1. ALL WATER SYSTEM CONSTRUCTION MUST FOLLOW THE CURRENT CITY OF COVINGTON WATER AND SEWER STANDARDS AND SPECIFICATIONS.
2. ALL 6" TO 10" DIAMETER P.V.C. WATER MAINS SHALL MEET THE REQUIREMENTS OF AWWA C-900, LATEST REVISION FOR 150 PSI WORKING PRESSURE (OR 18" ALL WATER MAINS 12" IN DIAMETER OR LARGER SHALL BE DUCTILE IRON PIPE.
3. DUCTILE IRON PIPE (D.I.P.) IS REQUIRED FOR WATER MAINS:
a. 12" DIAMETER OR LARGER
b. CROSSING SANITARY SEWERS
c. UNDER ALL STREAM CROSSINGS AND OVER OR UNDER ALL STORM SEWERS.
d. UNDER ALL ROADS AND INTERSECTIONS AND INSIDE CASINGS
e. AT ALL LOCATIONS WITH WORKING PRESSURE ABOVE 125 PSI (GENERALLY BELOW ELEVATIONS 700 MSL)
f. AT ALL OTHER LOCATIONS SPECIFIED BY THE CITY.
4. ALL LINE VALVES SHALL BE MARKED BY CONCRETE VALVE MARKERS.
5. A CONCRETE VALVE MARKER IS TO BE PLACED DIRECTLY ABOVE THE PLUG ON ALL DEAD-END WATER MAINS.
6. INFORMATION REGARDING UNDERGROUND UTILITIES ON THESE PLANS IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL REQUEST A FIELD LOCATION THROUGH THE UTILITIES PROTECTION CENTER AND ANY UTILITY OWNERS THOUGHT TO HAVE FACILITIES IN THE AREA. THE CONTRACTOR SHALL PROMPTLY COMPARE THESE FIELD-MARKED LOCATIONS WITH THE PROJECT PLANS AND THEN NOTIFY THE DESIGNER OF ANY ANTICIPATED PROBLEMS OR NEED FOR CONTRACT CHANGES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXCAVATE OR CAUSE THE UTILITY OWNER TO EXCAVATE FOR THE PURPOSE OF DETERMINING EXACT ELEVATIONS OR LOCATIONS AT UTILITY CROSSINGS AND OTHER CRITICAL LOCATIONS WELL IN ADVANCE OF THE WORK UNDER THIS CONTRACT. DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
7. ALL SERVICE LINES UNDER PAVEMENT SHALL BE ENCASED IN PVC CASING WITH A MINIMUM DIAMETER OF 1 1/2". EXTENDING A MINIMUM OF 3' BEYOND PAVEMENT ON EACH SIDE OF THE ROAD.
8. CONCRETE BLOCKING SHALL BE PLACED AT ALL BENDS AND TEES.
9. THE DEVELOPER SHALL OBTAIN A LAND DISTURBING PERMIT FROM THE CITY ENGINEERING DEPARTMENT AND NOTIFY THE WATER SYSTEM INSPECTOR 48 HOURS BEFORE BEGINNING CONSTRUCTION.
10. THE DEVELOPER SHALL INSTALL WATER SERVICES UP TO AND INCLUDING METER BOXES AND CURB STOPS. METERS WILL BE SET BY THE CITY AFTER THE BUILDING PERMIT IS ISSUED.
11. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 48" COVER.
12. LOCATOR WIRE SHALL BE PLACED IN A TRENCH ABOVE THE P.V.C. WATER MAIN BEFORE BACKFILLING TRENCH.
13. FLOW TEST INFORMATION:
STATIC PRESSURE: PSI AT _____ FT
RECORDED FLOW: GPM WITH _____ PSI RESIDUAL PRESSURE.
MAXIMUM ELEVATION IN DEVELOPMENT: M.S.L. (TO BE DETERMINED BY DEVELOPER)
FLOW AVAILABLE AT MAXIMUM ELEVATION: GPM WITH 20 PSI RESIDUAL PRESSURE.
SIZE OF WATER MAIN AT POINT OF CONNECTION IN PROJECT: _____ INCHES
DATE OF FLOW TEST: _____
14. THE APPROVED WATER PLAN SHALL NOT BE CHANGED EXCEPT BY WRITTEN APPROVAL FROM THE CITY.
15. AS-BUILT DRAWINGS SHALL BE SUBMITTED IN ACCORDANCE WITH SECTION 1.6.

CITY OF COVINGTON ELECTRIC DEPARTMENT NOTES/NOTICES

- 1. OWNER/DEVELOPER TO SIGN EASEMENTS AND PAY ANY INFRASTRUCTURE RELOCATION COST BEFORE START OF WORK.
2. IF THERE ARE INSTALLATION CHARGES, PAYMENT MUST BE MADE BEFORE START OF WORK.
3. OWNER/DEVELOPER IS REQUIRED TO INSTALL THREE (3) SCHEDULE 40, 2 INCH PVC CONDUITS AT A MINIMUM DEPTH OF 40 INCHES DEEP FROM THE TRANSFORMER TO THE APPROVED POWER POLE OR UNDERGROUND CONNECTION LOCATION AT THE RIGHT OF WAY OF THE POWER EASEMENT.
4. ANY CHANGES OR ADDITIONS TO EXISTING ELECTRICAL LOAD MAY RESULT IN UPGRADES TO SERVICE AND/OR TRANSFORMER SIZES, WHICH WILL COME WITH ASSOCIATED COST.
5. OWNER/DEVELOPER TO FURNISH AND INSTALL TRANSFORMER CONCRETE PAD FOLLOWING CITY OF COVINGTON SPECIFICATIONS.
6. TRANSFORMER PLACEMENT ON SITE TO MEET CITY OF COVINGTON SPECIFICATIONS AND STATE FIRE CODE SPECIFICATIONS FROM THE BUILDING.
7. OWNER/DEVELOPER IS REQUIRED TO INSTALL TEMPORARY POWER POLE. TEMPORARY POLE SPECIFICATIONS ARE ON THE CITY OF COVINGTON WEBSITE UNDER "ELECTRIC DEPARTMENT".
8. IF THE PROJECT SHOULD CAUSE RELOCATION OR REMOVAL OF ANY EXISTING POWER MAIN OR SERVICE THERE WILL BE ASSOCIATED COST.



SANITARY A PROFILE
STA. -0+50 TO STA. 2+50

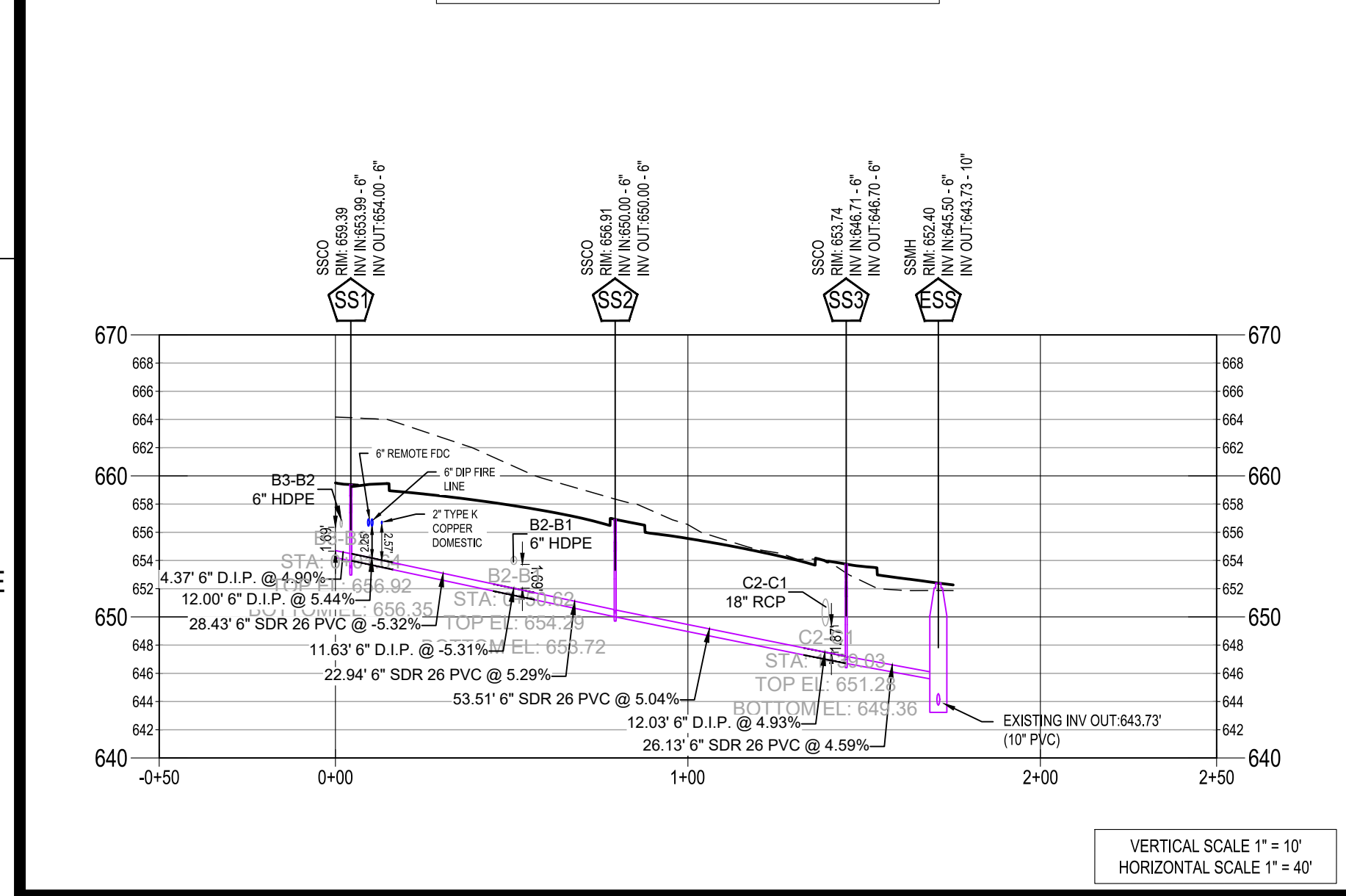
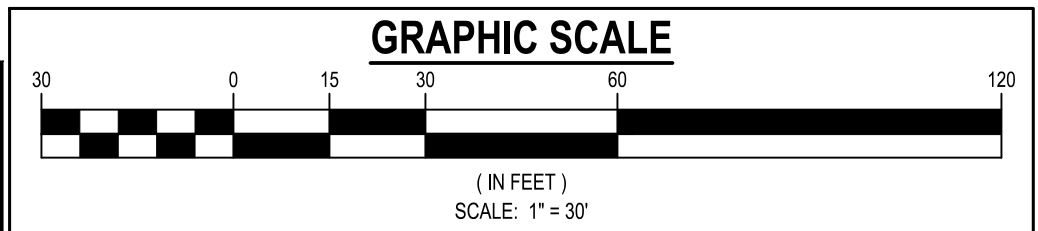


Table with 3 columns: Demand Item, Calculated Demand, Notes. Includes Average Daily Sanitary Sewer Flow (1,810 GPD), Peak Daily Sanitary Sewer Flow (4,525 GPD), Average Daily Domestic Water Demand (660 GPD), and Maximum Daily Domestic Water Demand (1,320 GPD).



IRRIGATION AND DOMESTIC SERVICE LINES TO BE SEPARATELY METER IN ACCORDANCE WITH CITY OF COVINGTON REQUIREMENTS. CONTRACTOR SHALL REVIEW SLEEVING PLAN WITH ALL PARTIES PRIOR TO INSTALLATION TO MAKE ADJUSTMENTS AS NEEDED BASED ON PROJECT REQUIREMENTS.

REFER TO MEP PLANS FOR UTILITY CONTINUATION WITHIN BUILDING.

WATER SOURCE:
WSID NUMBER: 2170001
COVINGTON/NEWTON COUNTY
WATER SYSTEM
CORNISH CREEK WTF
11905 ALCOVY RD,
COVINGTON, GA 30014
PHONE: 770-784-2128

JASON P. BROWN
LEVEL II CERTIFIED
DESIGN PROFESSIONAL
#53274 - EXP. 05.01.2029

OWNER/DEVELOPER
COMPANY: CITY OF COVINGTON
ADDRESS: 11234 ALCOVY RD
COVINGTON, GA 30014
PHONE: 678-342-0790
CONTACT: TRUDY HENRY
EMAIL: TRUDY.HENRY@COVINGTON-NEWTON.GA.GOV

CONTRACTOR
COMPANY: SUNBELT BUILDERS
ADDRESS: 10641 HIGHWAY 36
COVINGTON, GA 30014
CONTACT: MIKE MCCROREY
PHONE: 404-644-2939
EMAIL: MCMCCROREY@SUNBELTBUILDERS.COM

SURVEYOR
COMPANY: GEORGIA CIVIL, INC.
ADDRESS: P.O. BOX 896 MADISON,
GA 30650 PHONE: 706.342.1104
CONTACT: BRIAN SLATE
EMAIL: BSLATE@GEORGIA-CIVIL.COM

SITE DESIGNER
COMPANY: GEORGIA CIVIL, INC.
ADDRESS: P.O. BOX 896
MADISON, GA 30650
PHONE: 706.342.1104

24-HOUR CONTACT
MIKE MCCROREY
404-644-2939



Contact 811 before you dig

Utilities/Services shown are for Contractor's convenience. Items are shown schematically and neither the design professional nor the owner assumes any responsibility for accuracy in their actual location. This plan may not show and/or may incorrectly show utilities located on site. Contractor shall be responsible to secure and use the services of a private utility locator firm during the entire course of work and shall pay for said services. Contractor shall call utilities prior to any excavation including field verifying location and depth of utilities that are to be saved and protected. Contractor shall notify the design professional of any utility conflicts prior to installation of new utilities, grading, etc. The Contractor at their expense shall be responsible to repair, replace and/or indicate, as necessary, any utilities damaged, whether shown or not. Agreement, location, etc. of utilities shall be coordinated with the respective utility companies.