

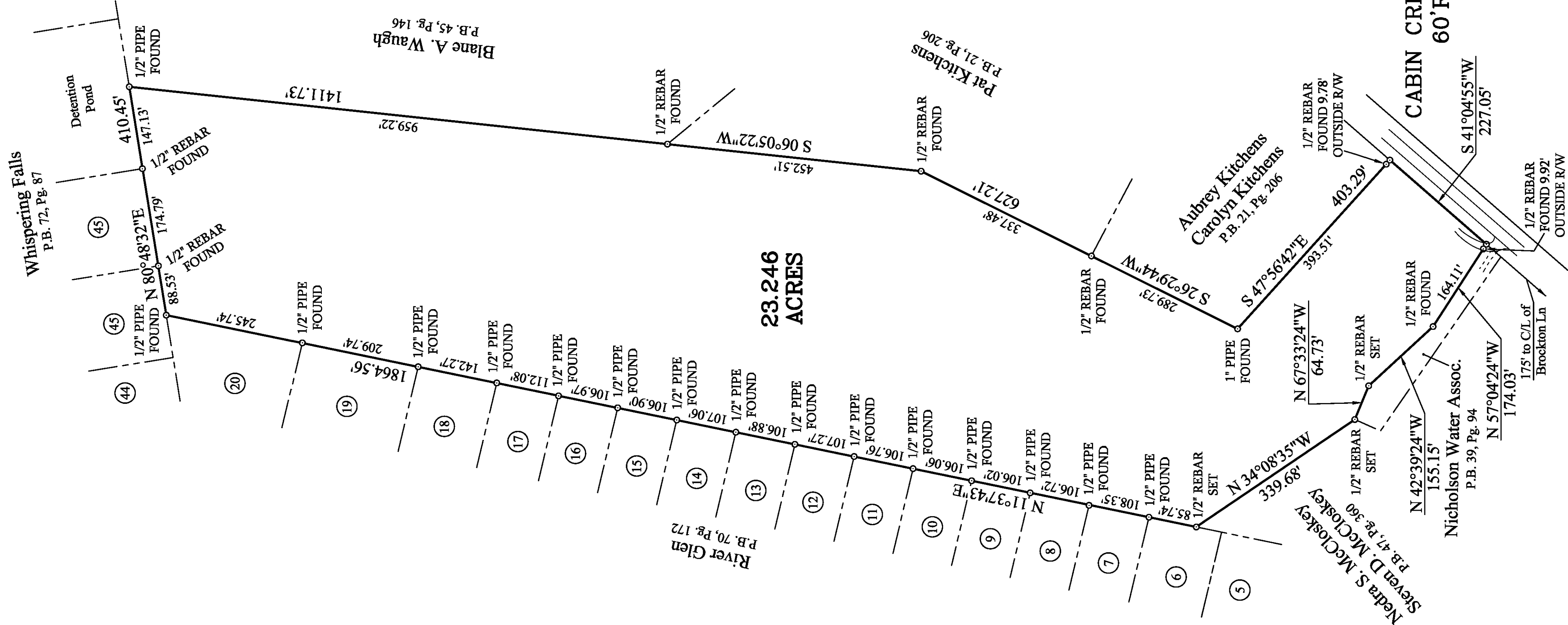
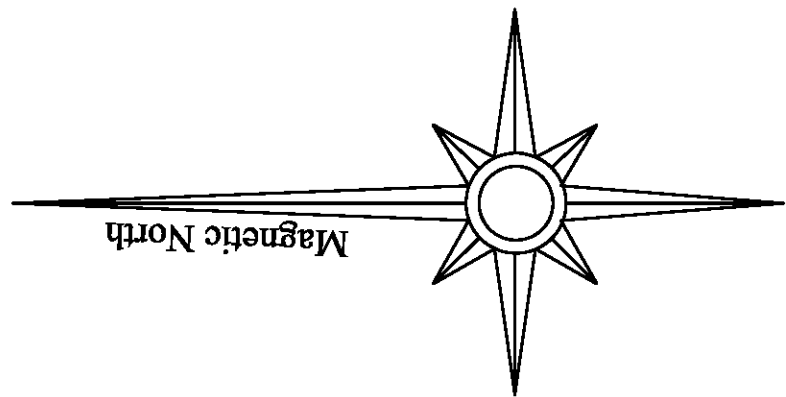
Plat Doc: PLAT
Recorded 10/13/2021 10:47AM
Camie W. Thomas
Clerk Superior Court, JACKSON County,
Ga.

Bk 00083 Pg 0142

Penalty: \$0.00
Interest: \$0.00

Participants: 7402370769

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT.



Notes:

- This Survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA) 15-6-67.
- This survey was prepared without the benefit of a title search. This property is subject to any concerns of which a title search would reveal.
- This property is subject to any easements, restrictions, right-of-ways, or any other encumbrances, both public and private.
- This plat represents that tract of land designated as Map & Parcel 025 021A, according to Jackson County Tax Assessors.
- Reference for subject tract is Plat Book 43, Page 116.

SURVEYORS CERTIFICATION

This plat is a retracement of an existing parcel of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUTABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Christopher J. Carlan
Christopher J. Carlan Ga RLS #3003

BOUNDARY SURVEY
FOR

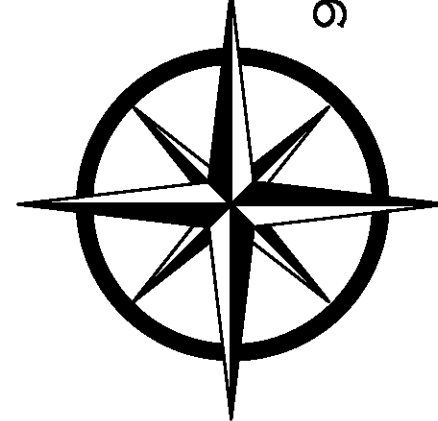
JACKSON COUNTY

LOCATED WITHIN

G.M.D. 253

Jackson County, Georgia

Scale: 1" = 200' February 15, 2011



CARLAN

LAND SURVEYORS
970 SOUTH BROAD STREET
COMMERCE, GA 30529
(706)336-5959

- The field data upon which this plat is based has a closure precision of one foot in 19715 foot and an angular error of 01" per angle point and was adjusted using the Compass Rule.
- This plat has been calculated for closure and is found to be accurate within one foot in 591,443 feet.
- The field equipment used in this survey was a Leica TS12-P Robotic Total Station.
- The Field Work was completed 10/12/21.



JOB NO. 21-339 P.B. B-750

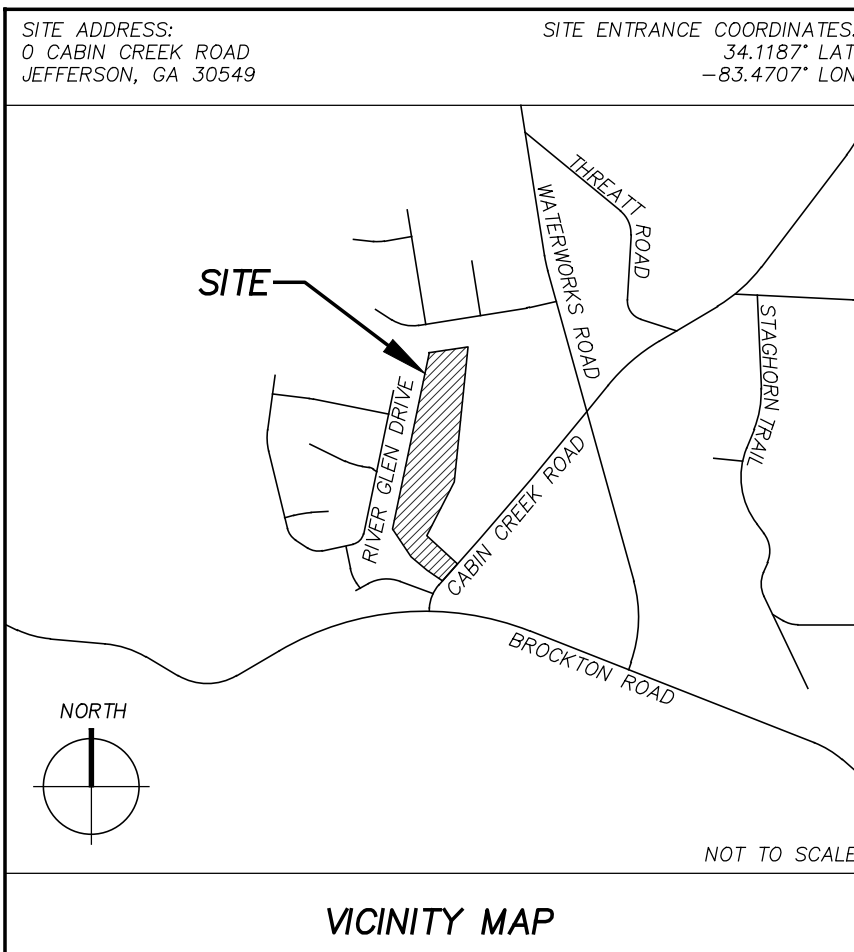


EXISTING FEATURES DISCLAIMER

The existing utilities, topography and other site features shown on these drawings may be comprised of field surveys by others, local GIS data, previous design plans and other sources. The engineer assumes no responsibility for the completeness or accuracy of the existing conditions. It is the responsibility of the contractor to locate and verify all existing utilities and features prior to construction to ensure proper horizontal and vertical connections and positive drainage as needed. The contractor shall notify the owner and engineer immediately if any discrepancies occur.

BUILDING UTILITIES DISCLAIMER

Utility connections to, near and throughout the buildings and other structures are shown on these civil drawings for reference and permitting purposes only and should NOT be used for construction. Instead, the contractor shall refer to the permitted architectural and MEP drawings for the size, material, quantity, location, elevation and installation specifications of all utility connections to the buildings and other structures. These include, but are not limited to domestic water, fire protection, irrigation, sanitary sewer, gas, power, communication and stormwater drainage as well as any associated appurtenances such as meters, valves, clean-outs, electrical grounding and access panels. It is very common for the civil plans to be completed and permitted while the building designs are still in their preliminary phases. Thus, accurate utility information is not available at the time of the final site design. It is the responsibility of the contractor to verify the utility designs prior to installation and notify the owner and designers if a conflict occurs.



PROJECT NOTES

SITE INFORMATION

- The subject property is located in Georgia Militia District 253 of Unincorporated Jackson County, Georgia.
- The total site area is 23.25 acres.
- The site is currently zoned A-2 for agricultural use.
- The jurisdictional site restrictions for A-2 zoning are:
Front building setback = 50 feet
Side building setback = 40 feet
Rear building setback = 40 feet
Zoning buffer = 50 feet
Landscape strip = 10 feet
Maximum building coverage = 25%
Maximum building height = 35 feet
- The existing boundary survey information is provided by Carlan Land Surveyors, dated 2/15/71 and revised on 10/12/21.
- The existing topography is based on GIS data and set to mean sea level.
- No portion of this property is located within a special flood hazard zone per FIRM Panel 13157C0276C, dated 12/17/2010.
- There are no surveyed wetlands or buffered state waters onsite.

UTILITY INFORMATION

- Fire protection and potable water services are not available near this site and shall be provided by an onsite private water system to be designed by others.
- Public sanitary sewer service is not available near this site and shall be provided by an onsite private sewer management system to be designed by others.
- Stormwater management shall be provided onsite and managed by the property owner.

SITE CALCULATIONS

SITE AREA ZONED:	23.25 ACRES
EXISTING USE OF PROPERTY:	A2, AGRICULTURAL RURAL FARM DISTRICT
PROPOSED USE OF PROPERTY:	VACANT PARKS, RECREATION AND CONSERVATION AREA
PROPOSED BUILDINGS DENSITY:	2,515 SF 108 SF/ACRE
PROPOSED PARKING STANDARD SPACES:	47
BUS SPACES:	7
HANDICAP ACCESSIBLE SPACES:	3 (2 VAN)
TOTAL SPACES PROPOSED:	57
GROUND COVERAGE BY BUILDINGS:	2,910 SF (0.33%), 0.06 ACRES
WETLANDS COVERAGE:	72,181 SF (78%), 1.69 ACRES
TOTAL PROPOSED LOT COVERAGE:	75,096 SF (78%), 1.74 ACRES

PARKING AND LOADING CALCULATIONS

PROPOSED PARKING	
STANDARD SPACES	47
BUS SPACES	7
COMPACT SPACES	0
HANDICAP ACCESSIBLE SPACES	3 (2 VAN)
TOTAL SPACES PROPOSED	57
TOTAL BUILDING AREA PROPOSED	2,600 SF
OVERALL PARKING RATIO PROPOSED	21.9/1,000 SF

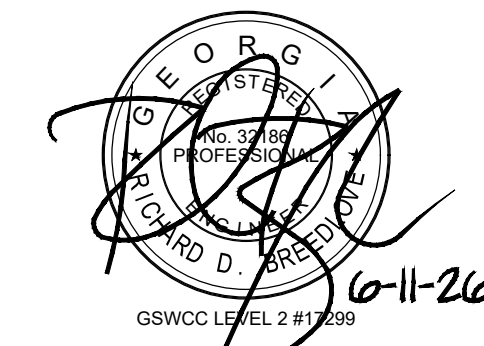
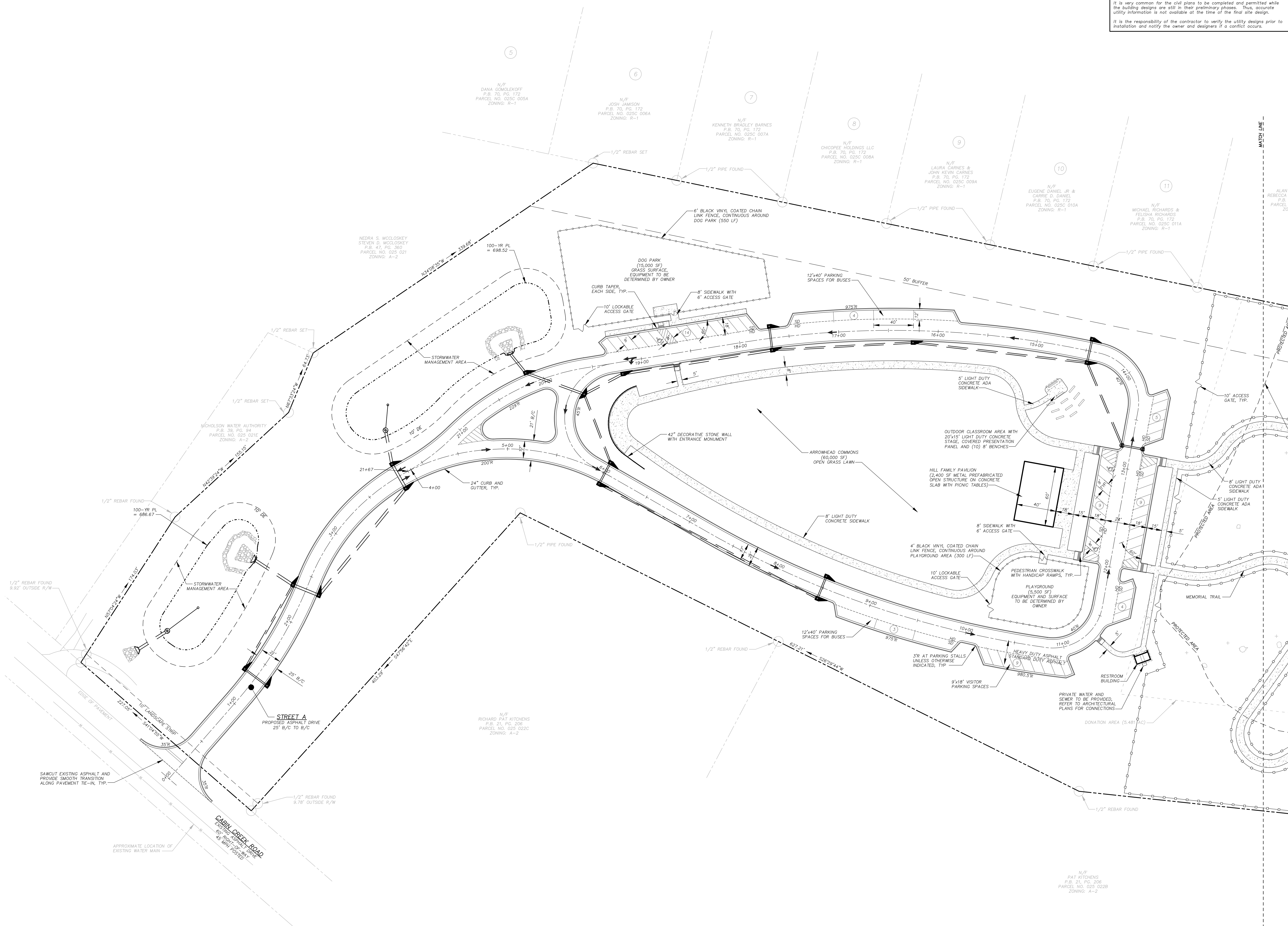
JACKSON COUNTY INSPECTIONS

Notify Jackson County Inspector at least 24 hours before beginning any phase of construction. (706) 367-6335

UTILITY CONSTRUCTION NOTE

The installation, relocation or removal of any utility lines or structures must be performed at the supervision and discretion of the appropriate utility department. Instructions and requirements issued by the utility departments shall supersede those shown on these plans if they exceed the recommendations included herein.

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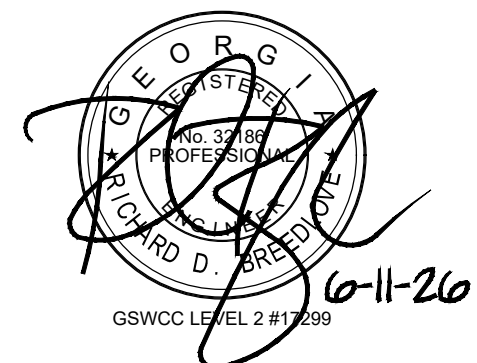


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Watkinsville, GA 30677
Office: (678) 726-3300
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ISSUE	DATE	DESCRIPTION
1	4/20/26	DESIGN DEVELOPMENT SET FOR OWNER'S REVIEW
2	6/11/26	LDP SUBMITTAL TO JACKSON COUNTY

North Oconee Heritage Park
SITE DEVELOPMENT PLANS
DEVELOPER INFORMATION:
JACKSON COUNTY, GEORGIA
4400 COUNTRY CLUB DRIVE
JEFFERSON, GA 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER:	JKS002
DATE:	6/11/26
ISSUE NUMBER:	2
CHECKED BY:	RDB
SHEET TITLE:	SITE AND UTILITY PLAN (SOUTH)
SHEET NUMBER:	C1



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DATE	DESCRIPTION
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ISSUE	DESCRIPTION
1	
2	

North Oconee Heritage Park
SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION:
JACKSON COUNTY, GEORGIA
4800 JEFFERSON, G.A. 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY

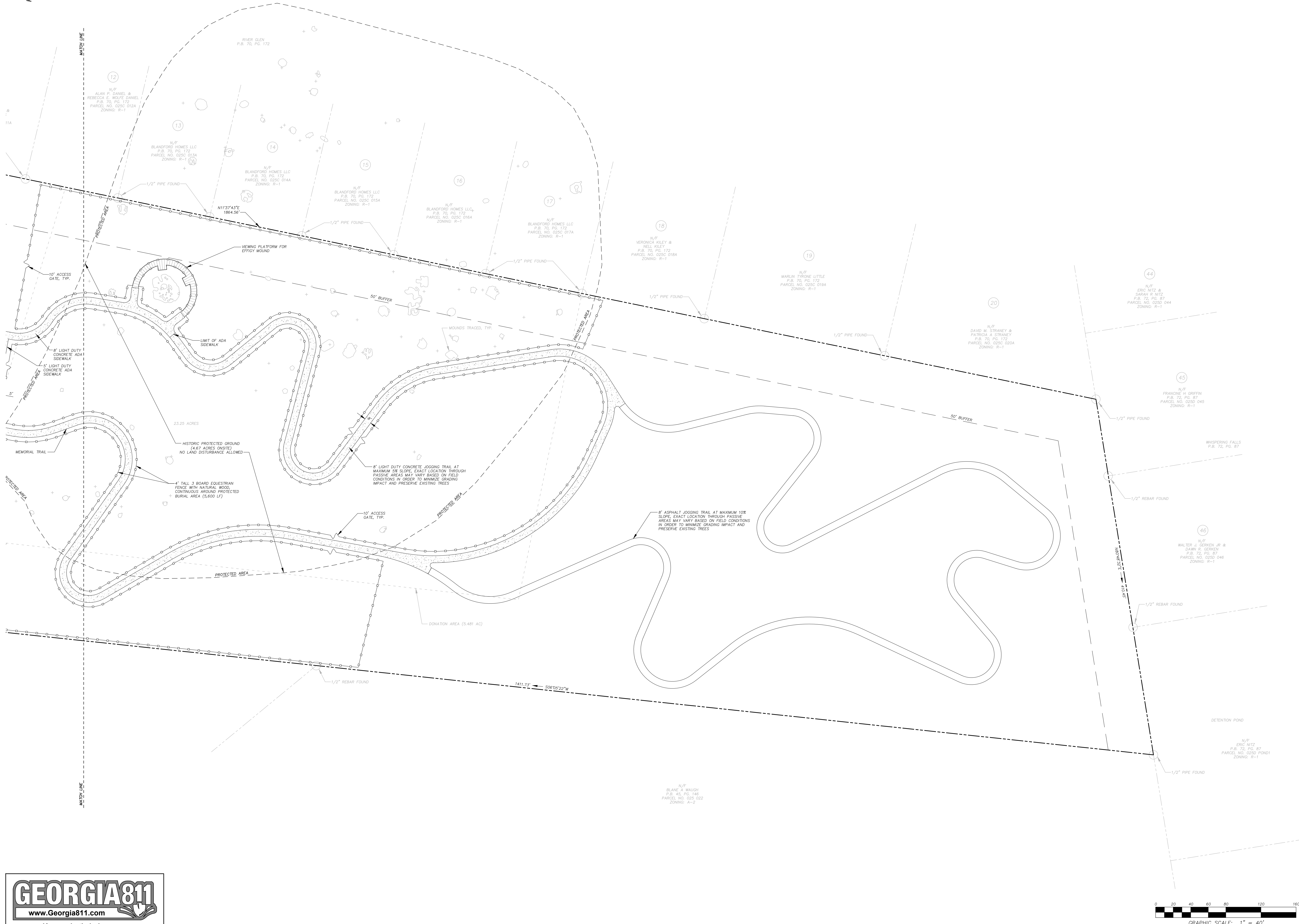
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JKS002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE:

**SITE AND
UTILITY PLAN
(NORTH)**

SHEET NUMBER:

C2





GRADING ALONG BUILDING PERIMETER

1. Structures such as buildings, slabs, walls, amenities and monuments may require additional provisions for compaction, elevations, utilities and other elements not shown on these drawings. The contractor is responsible for meeting the specifications of the approved architectural, structural and MEP drawings and notifying the engineer if a conflict exists.

2. Unless otherwise noted, finished grades around the building slab shall be a minimum of 6" below the finished floor elevation or as required by the architect or building material specifications. If this condition cannot be met, additional provisions such as waterproofing, foundation walls, trench drains, handscaping and/or building redesign may be required.

3. Unpaved surfaces shall slope away from the building at 5% typical, but no less than 2% and maintain positive drainage at all times.

4. Paved surfaces shall slope away from the building at a minimum of 0.5% and a maximum of 2% unless otherwise noted.

5. The maximum vertical drop or offset at any point along an ADA route shall be 0.25". Door thresholds may be as high as 0.5" if beveled properly. Refer to architectural drawings for specifications and elevations around the building perimeter and at all access points.

JACKSON COUNTY INSPECTIONS

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UTILITY CONSTRUCTION NOTE

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VICINITY MAP

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EXISTING FEATURES DISCLAIMER

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It is the responsibility of the contractor to locate and verify all existing utilities and features prior to construction to ensure proper horizontal and vertical connections and positive drainage as needed. The contractor shall notify the owner and engineer immediately if any discrepancies occur.

FINISHED FLOOR ELEVATIONS

The building floor elevations shown (denoted as FFE, MFE, GAR, BSMT) indicate the minimum elevations allowable based on topography and nearby stormwater ponding. The actual elevations of the finished floor, basement, garage and other areas of the structure shall be based on the proposed building plans by others. It is strongly recommended that the actual elevations either match or exceed those shown on these plans. The architect or contractor shall notify the engineer if conflicts occur.

EARTHWORK ESTIMATES

ESTIMATED SURFACE CUT:	15,769 CY
ESTIMATED SURFACE FILL:	16,763 CY
NET BALANCE:	4,008 CY CUT
PROPOSED AREA OF DISTURBANCE:	12.00 AC
VERTICAL DIFFERENTIAL:	0.21 FT

The contractor is responsible for the verification of earthwork quantities and shall not rely on estimates provided by the engineer. The earthwork cut and fill estimates included in these plans are based on computer model comparisons of the existing and proposed surfaces and may not accurately account for unobtainable soils, demolition, piling thickness, compaction, trenching and other significant elements. The contractor may prefer to adjust finished floor elevations or other grades, but must notify the engineer for approval prior to making these field changes.

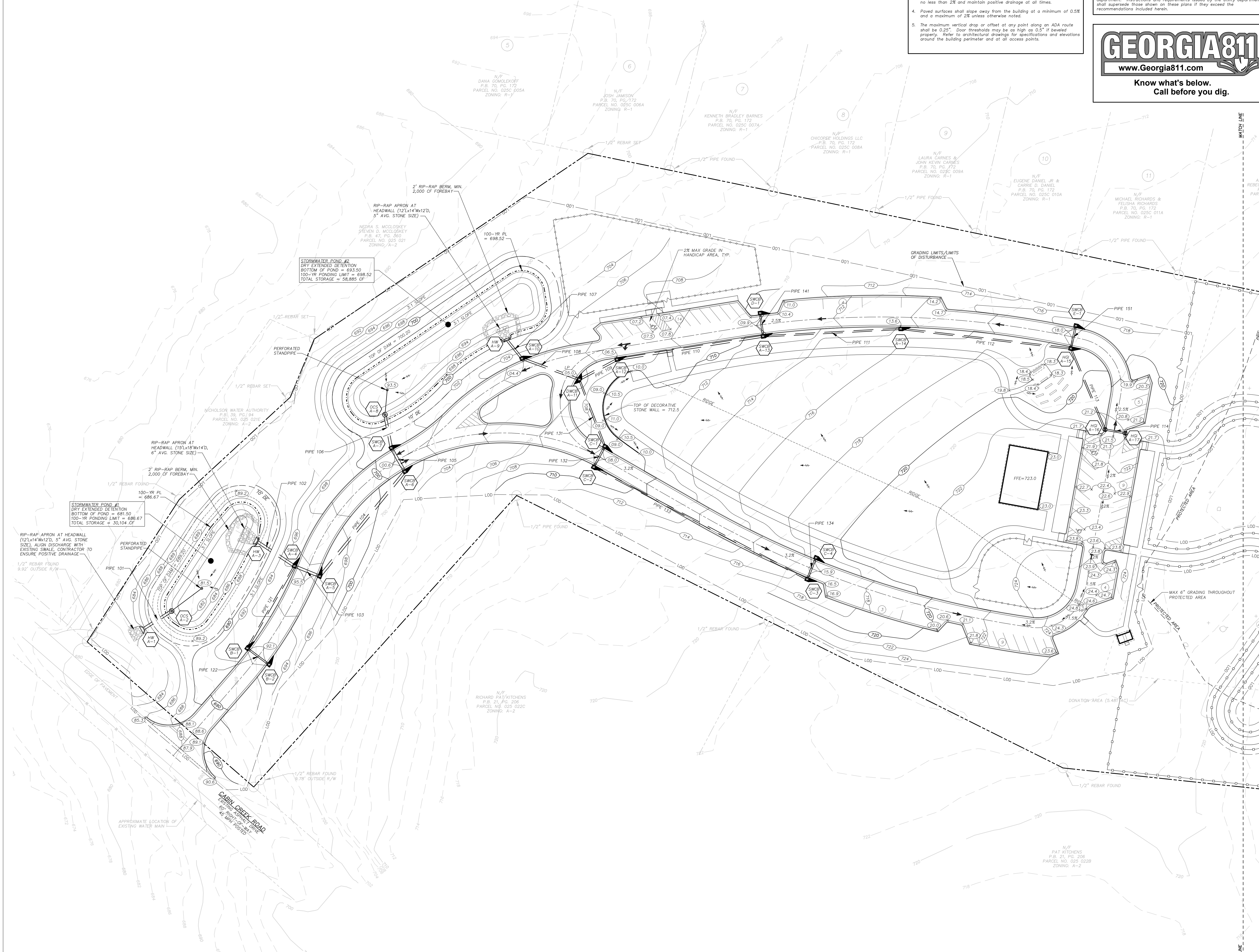
GENERAL GRADING NOTES

- The contractor shall verify all proposed and existing dimensions, utilities, grading slopes and elevations prior to construction and notify the owner or engineer of any discrepancies.
- Additional land development provisions beyond those shown on the permitted plans may be required during construction due to site conditions, weather or requests by the inspector.
- The contractor shall make a reasonable effort at all times to avoid any excessive disturbance to this property, neighboring properties, buffer areas, utilities and traffic flow. The contractor shall work in a manner that minimizes damage to existing site features and vegetation unless otherwise indicated on these drawings.
- No land disturbing activity shall occur outside of the limits of disturbance and no trees shall be damaged outside of the tree protection fencing as shown on the permitted plans without written consent of the property owner and approved by the governing authorities.
- Clearing and grubbing shall consist of removing all vegetation, organic material, unsuitable soils and debris from the delineated areas as shown on the plans. Upon completion of grubbing, these areas shall be left in a clean, compacted and stabilized condition and shall be leveled to eliminate any erodible holes or ridges of two feet or greater. Voids shall be filled or refilled with acceptable material and properly compacted in layers by tamper, rollers or other appropriate construction equipment.
- Topsoil shall be stripped from any area receiving fill dirt or any area which requires compaction such as buildings, utilities, structures, pond dams or paving. Top soil may be temporarily stockpiled for use in landscape areas if cleaned of debris and approved by the owner. Materials and operations shall be evaluated by a geotechnical engineer. Exporting or disposal of soils and other materials shall be performed in accordance with local solid waste regulations and may require separate permitting.
- All areas receiving fill dirt or compaction shall be prepared by stripping and completely removing all vegetation, organic material, unsuitable soils and debris. Filling materials and compaction operations shall be evaluated by a geotechnical engineer.
- Proof rolling is required throughout all exposed areas to evaluate soil conditions and stability. Any soft, yielding, excessively wet, residual or otherwise unsuitable soils discovered during proof rolling or otherwise present during any phase of construction shall be undercut and replaced with acceptable fill material and properly compacted.
- If temporary or permanent groundwater is discovered, the contractor shall be responsible for dewatering the affected areas with trenching, sumps, mechanical pumping and other solutions. Permanent groundwater may require additional trenching and bedding measures or more significant action such as a redesign of the site and grading plans. The contractor shall consult the geotechnical engineer for evaluation of such conditions.
- Fill dirt shall meet the minimum criteria of ASTM D2487. Fill dirt shall not include vegetation, organic material, frozen material, debris, polluted soils or other unsuitable material. Fill dirt shall not include stones larger than 6 inches for utility trenches or the upper 6 inches of surface grading. Structural fill dirt shall not include stones larger than 3 inches. Otherwise, fill dirt shall not include stones larger than 6 inches. Fill dirt may be generated by onsite excavation if it meets the criteria described herein.
- Fill material shall be placed in successive horizontal layers, or lifts, not to exceed 8 inches thick and compacted to at least 88% of the maximum laboratory dry density according to standard practice. Fill slopes steeper than 4:1V shall be stepped or benched. Each lift shall be proof rolled with a vibrating sheepsfoot compactor roller, loaded rubber tired tandem axle dump truck, scraper, loader or other appropriate heavy equipment. Compaction equipment shall make overlapping passes longitudinally and perpendicularly throughout the lift area until minimum criteria are met. Moisture content of each lift shall be within 1% of the optimum moisture content. Watering trucks, spreaders or spray hoses may be used if necessary to bring soils up to the proper moisture range. In such cases, water shall be thoroughly mixed and evenly distributed prior to compaction.
- Compaction, moisture and laboratory testing shall meet the minimum criteria of ASTM D698 and AASHTO T98.
- The contractor shall follow the recommendations of the geotechnical engineer or soils inspection reports if they exceed the specifications included herein.
- If rock is encountered, the owner shall be notified and written instructions shall be provided by the geotechnical engineer prior to excavation.
- The site should be graded during each phase of construction to maintain positive drainage away from buildings, laydown areas and other significant features of the construction site to prevent erosion or stormwater ponding.
- The maximum slope for maintained areas, pond dams and stormwater conveyance channels is 3H:1V. All other slopes may not exceed 2H:1V unless otherwise noted and evaluated by a geotechnical engineer.
- The proposed grading shown on these plans represents the finished surface elevations unless otherwise noted.
- All drainage elements and gravity utility lines shall be sloped in an effective and safe manner away from buildings and toward the appropriate destinations as shown on these plans. If site conditions present a conflict, the contractor shall notify the owner or engineer immediately.
- All grading and paving tie-points shall have a smooth and aesthetic transition between the new construction and existing elements.
- Structures such as buildings, slabs, walls, amenities and other elements not shown on these drawings. The contractor is responsible for meeting the specifications of the approved architectural, structural and MEP drawings and notifying the engineer if a conflict exists.
- Stormwater inlet structures shall have their flow lines adjusted to finished grade or slightly lower to accept positive drainage from surface runoff. Please note that flow lines are not necessarily the same as rim elevations for some structures such as pedestal drop inlets and curb inlets. The contractor shall consult the engineer for clarity if needed.
- All stormwater structures shall be traffic-rated if installed within roads, drives, parking lots and other areas designated for pedestrian traffic.
- Stormwater grate inlets shall be ADA compliant if installed within sidewalks, plazas and other areas designated for pedestrian traffic.

10 20 40 60 80 120 160

GRAPHIC SCALE: 1" = 40'

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JKS002
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6/11/26

0-11-26
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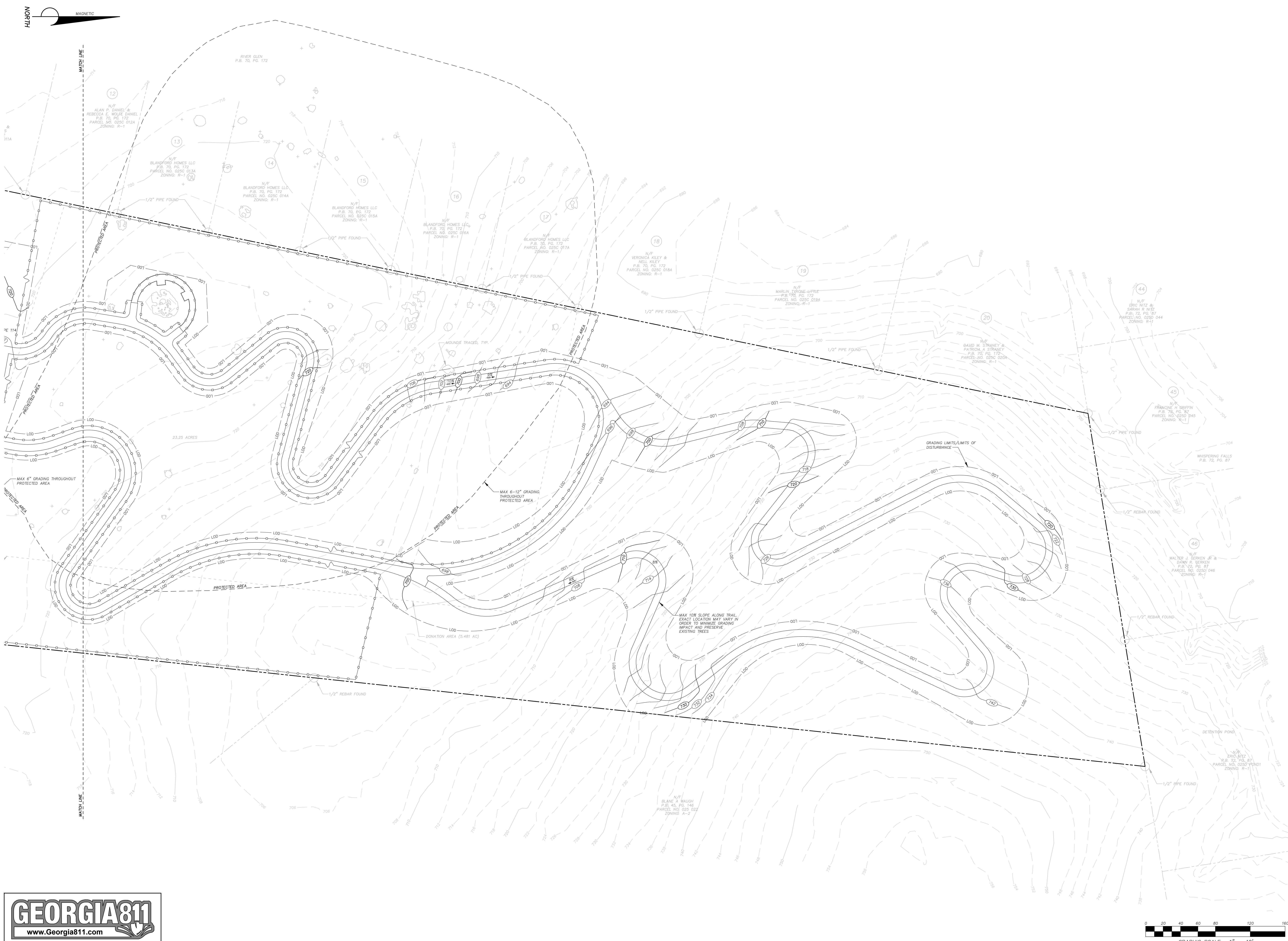
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ISSUE	DATE	DESCRIPTION
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DEVELOPER INFORMATION
NORTH OCONEE HERITAGE PARK
0 CABIN CREEK ROAD
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING

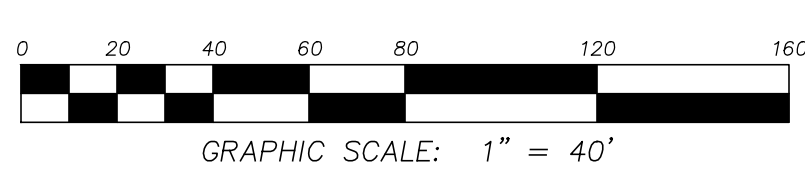
CONTACT PERSON: BARRY VICKERY
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JKS002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE: GRADING AND DRAINAGE PLAN (SOUTH)
SHEET NUMBER: C3
OF 18 SHEETS



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North Oconee Heritage Park
SITE DEVELOPMENT PLANS

SITE INFORMATION
O CONEE CREEK ROAD
JACKSON COUNTY, GEORGIA
4800 O CONEE CREEK ROAD
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING

24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JKS002
DATE: 6/11/26
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SHEET TITLE: GRADING AND DRAINAGE PLAN (NORTH)
SHEET NUMBER: C4

OF 18 SHEETS



JACKSON COUNTY INSPECTIONS

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UTILITY CONSTRUCTION NOTE

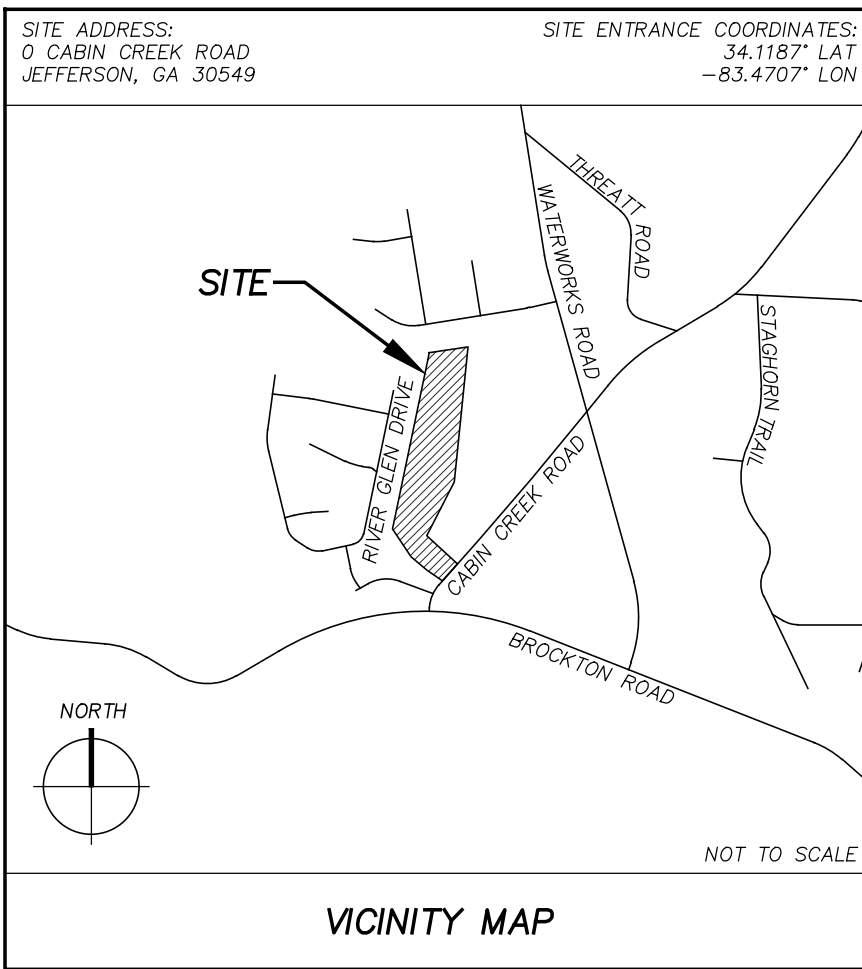
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SOIL TYPES

CeB	CEOL SANDY LOAM, 2-6% SLOPES	PuD2	PACOLET SOILS, 10-15% SLOPES, ERODED
CeC	CEOL SANDY LOAM, 6-10% SLOPES	WhB	WICKHAM SANDY LOAM, 2-6% SLOPES
CfC2	CEOL SANDY CLAY LOAM, 6-10% SLOPES, ERODED		

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY	Sd1-S	SEDIMENT BARRIER WITH TYPE SENSITIVE SILT FENCE
Ds2	DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING	Sd2-F	INLET SEDIMENT TRAP WITH FILTER FABRIC
Ds3	DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION	Sd2-P	INLET SEDIMENT TRAP WITH CURB INLET PROTECTION (PIGS)
Ds4	DISTURBED AREA STABILIZATION WITH SEEDING	Sd3	TEMPORARY SEDIMENT BASIN
Du	DUST CONTROL	Sd4-C	TEMPORARY SEDIMENT TRAP WITH ROCK OUTLET
Co	CONSTRUCTION EXIT	Sk	FLOATING SURFACE SKIMMER
Di	DIVERSION	St	STORM DRAIN OUTLET PROTECTION
Re	RETAINING WALL	Tr	TREE PROTECTION WITH ORANGE SNOW FENCE
Rt	RETROFIT		



24-HR LOCAL ES&PC CONTACT PERSON:
BARRY VICKERY, (706) 286-6353

EROSION CONTROL NOTES

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
- CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 WITH A HEIGHT OF 10 FEET OR GREATER SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
- WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFERS AS MEASURED FROM THE UNOBSTRUCTION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.

EROSION CONTROL PHASING

The Erosion, Sedimentation and Pollution Control Plan (ESPCP) included herein is divided into 3 primary phases for the purposes of permitting. It is understood that the overall construction process will be dynamic in nature and each phase may partially overlap another. The construction activities and schedules are subject to change based on unforeseen site conditions, weather, human interaction, etc. The contractor is responsible for monitoring erosion control measures at all times in all phases regardless of any delays or changes.

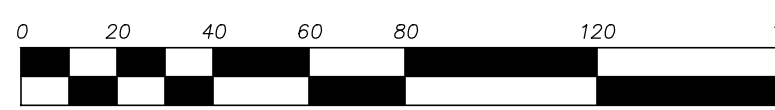
PHASING DESCRIPTIONS
Initial (Phase 1): The first phase includes installation of perimeter controls such as silt fence, tree save fence, construction exit, inlet sediment protection for nearby storm inlets and the installation of temporary sediment basins. Minor clearing and grading are likely required for these installations. This phase may also include the demolition and removal of existing features.
Intermediate (Phase 2): The second phase includes full clearing and grubbing, site grading and installation of retaining walls. This phase also includes the installation of underground utilities and permanent stormwater ponds. Inlet sediment traps and temporary vegetative stabilization shall be provided as shown.
Final (Phase 3): The third phase includes construction of building, paving and other permanent features as well as final grading, landscaping and seeding. This phase also includes full site stabilization and inspection approval upon which the temporary erosion control measures and debris may be removed.

LIMITS OF DISTURBANCE FOR EACH PHASE
Phase 1: 12.00 acres
Phase 2: 12.00 acres
Phase 3: 12.00 acres

CONSTRUCTION SCHEDULE

PROJECTED START DATE:	OCTOBER 1, 2026
PROJECTED COMPLETION DATE:	SEPTEMBER 30, 2027
ACTIVITY	1 2 3 4 5 6 7 8 9 10 11 12
INSTALL INITIAL EC MEASURES	
INSTALL SEDIMENT BASINS	
CLEARING AND GRUBBING	
ROUGH GRADING	
APPLICATION OF TEMPORARY GRASSING	
INSTALL INTERMEDIATE EC MEASURES	
INSTALL RETAINING/FOUNDATION WALLS	
INSTALL UNDERGROUND UTILITIES	
INSTALL DETENTION FACILITIES	
INSTALL CURB AND GUTTER	
INSTALL FINAL EC MEASURES	
BUILDING CONSTRUCTION	
FINAL PAVING	
FINISHED GRADING AND LANDSCAPING	
APPLICATION OF PERMANENT GRASSING	
FINAL INSPECTIONS AND ACCEPTANCE	
REMOVE EC MEASURES AND DEBRIS	
GENERAL MAINTENANCE	

NOTE: CONSTRUCTION DATES, DURATION AND SEQUENCES ARE ESTIMATES ONLY AND MAY VARY DUE TO PERMITTING, SITE CONDITIONS, WEATHER, ETC.



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North Oconee Heritage Park

SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION:
NORTH OCONEE HERITAGE PARK
4400 COUNTRY CLUB DRIVE
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JK5002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE:

EROSION CONTROL PHASE 1 (SOUTH)

SHEET NUMBER:

C5

OF 18 SHEETS

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Watkinsville, GA 30677
Office: (678) 726-3300
www.dovetailcivil.com

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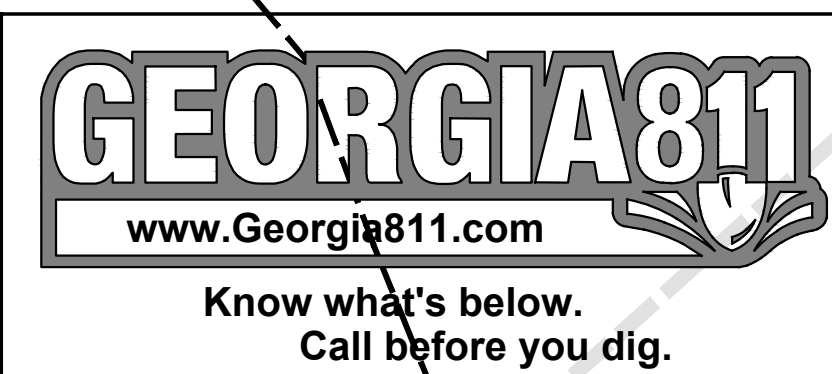
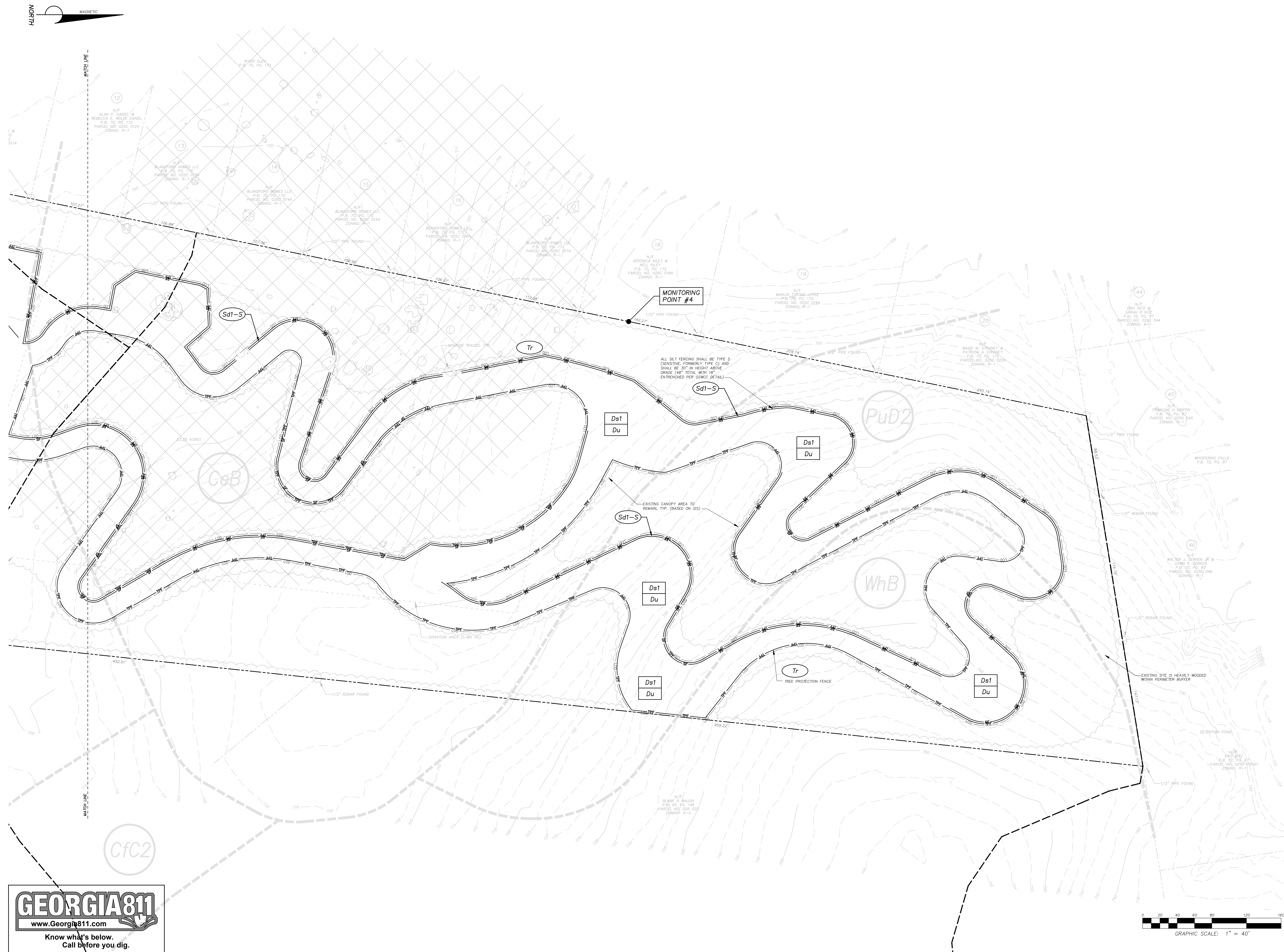
SITE INFORMATION
O CABIN CREEK ROAD
JEFFERSON, GA 30048
WINN-COBB COUNTY
G.M.D. 253
A-2 ZONING
23.25 ACRES

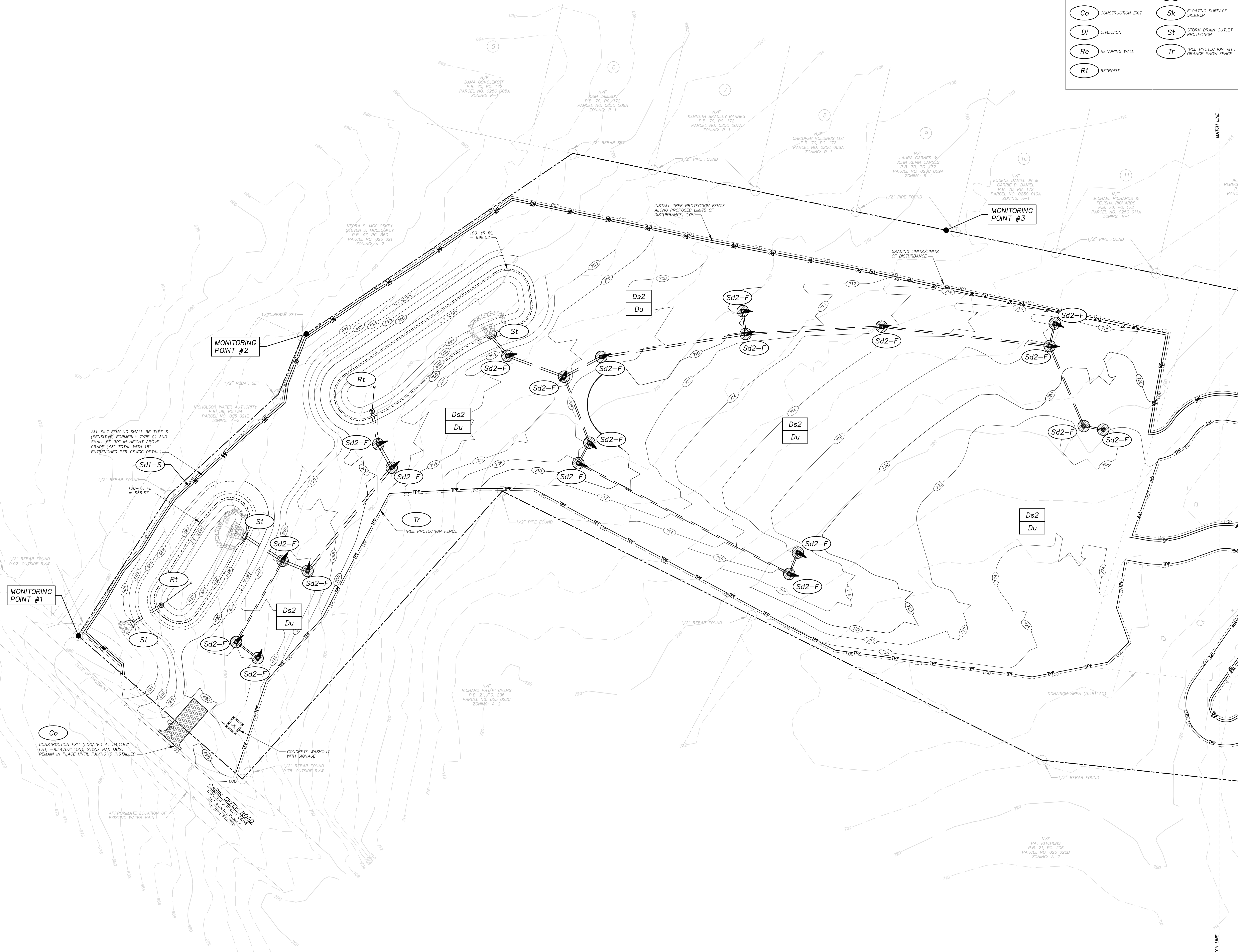
DEVELOPER INFORMATION
JACKSON COUNTY, GEORGIA
4965 JACKSON PARKWAY
JEFFERSON, GA 30048
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY

24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER:	JKS002
DATE:	6/11/26
ISSUE NUMBER:	2
CHECKED BY:	RDB
SHEET TITLE:	
EROSION CONTROL PHASE 1 (NORTH)	
SHEET NUMBER:	

OF 18 SHEETS





EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY	Sd1-S	SEDIMENT BARRIER WITH TYPE SENSITIVE SILT FENCE
Ds2	DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING	Sd2-F	INLET SEDIMENT TRAP WITH FILTER FABRIC
Ds3	DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION	Sd2-P	INLET SEDIMENT TRAP WITH CURB INLET PROTECTION (PIGS)
Ds4	DISTURBED AREA STABILIZATION WITH SODDING	Sd3	TEMPORARY SEDIMENT BASIN
Du	DUST CONTROL	Sd4-C	TEMPORARY SEDIMENT TRAP WITH ROCK OUTLET
Co	CONSTRUCTION EXIT	Sk	FLOATING SURFACE SOMMER
Di	DIVERSION	St	STORM DRAIN OUTLET PROTECTION
Re	RETAINING WALL	Tr	TREE PROTECTION WITH CRANE SNOW FENCE
Rt	RETROFIT		

VICINITY MAP

24-HR LOCAL ES&PC CONTACT PERSON: BARRY VICKERY, (706) 286-6353

EROSION CONTROL NOTES

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
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- ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
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- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.

CONSTRUCTION SCHEDULE

PROJECTED START DATE: OCTOBER 1, 2026
PROJECTED COMPLETION DATE: SEPTEMBER 30, 2027

ACTIVITY	MONTHS											
	1	2	3	4	5	6	7	8	9	10	11	12
INSTALL INITIAL EC MEASURES												
INSTALL SEDIMENT BASINS												
CLEARING AND GRUBBING												
ROUGH GRADING												
APPLICATION OF TEMPORARY GRASSING												
INSTALL INTERMEDIATE EC MEASURES												
INSTALL RETAINING/FOUNDATION WALLS												
INSTALL UNDERGROUND UTILITIES												
INSTALL DETENTION FACILITIES												
INSTALL CURB AND GUTTER												
INSTALL FINAL EC MEASURES												
BUILDING CONSTRUCTION												
FINAL PAVING												
FINISHED GRADING AND LANDSCAPING												
APPLICATION OF PERMANENT GRASSING												
FINAL INSPECTIONS AND ACCEPTANCE												
REMOVE EC MEASURES AND DEBRIS												
GENERAL MAINTENANCE												

NOTE: CONSTRUCTION DATES, DURATION AND SEQUENCES ARE ESTIMATES ONLY AND MAY VARY DUE TO PERMITTING, SITE CONDITIONS, WEATHER, ETC.

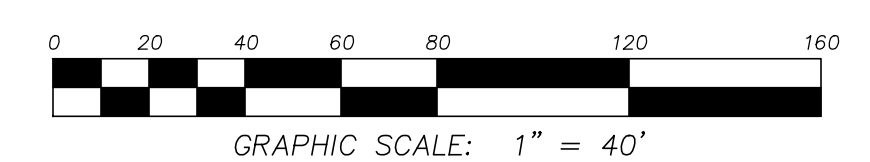
JACKSON COUNTY INSPECTIONS

Notify Jackson County Inspector at least 24 hours before beginning any phase of construction. (706) 367-6335

UTILITY CONSTRUCTION NOTE

The installation, relocation or removal of any utility lines or structures must be performed at the supervision and discretion of the appropriate utility department. Instructions and requirements issued by the utility departments shall supersede those shown on these plans if they exceed the recommendations included herein.

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North Oconee Heritage Park
SITE DEVELOPMENT PLANS

PROJECT NUMBER: JK5002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE: EROSION CONTROL PHASE 2 (SOUTH)
SHEET NUMBER: C7

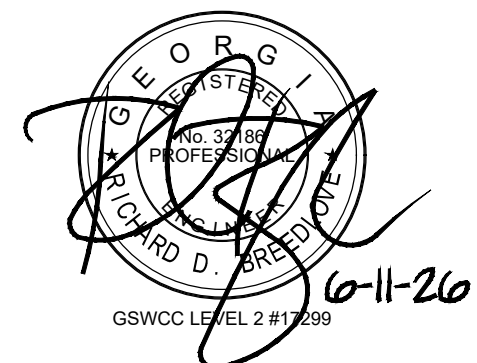
JK5002
SUBMITTAL
6/11/26

0-11-20
GSWCC LEVEL 2.41.20

DEVELOPER INFORMATION:
JACKSON COUNTY, GEORGIA
4400 JEFFERSON ROAD
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

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DATE	DESCRIPTION
4/30/26	DESIGN DEVELOPMENT SET FOR OWNER'S REVIEW
6/11/26	LUP SUBMITTAL TO JACKSON COUNTY
ISSUE	DESCRIPTION
1	
2	

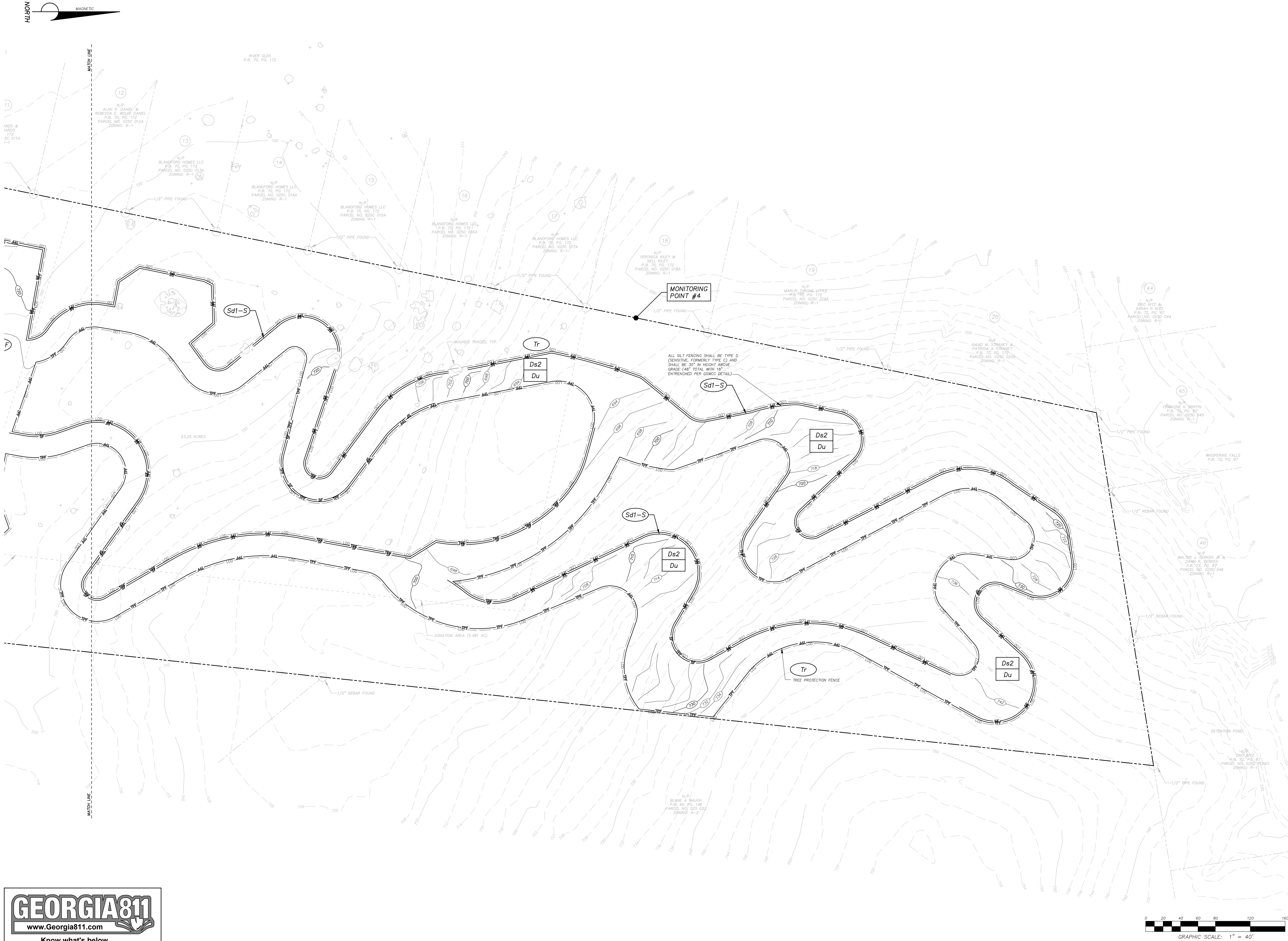
North Oconee Heritage Park
SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION
JACKSON COUNTY, GEORGIA
4800 W. JEFFERSON, G.A. 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY

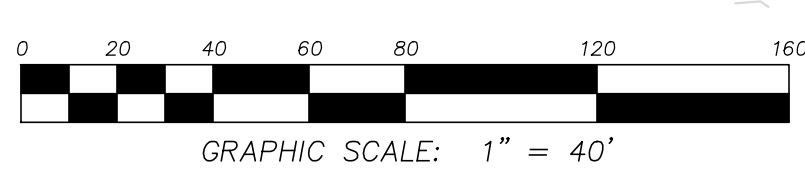
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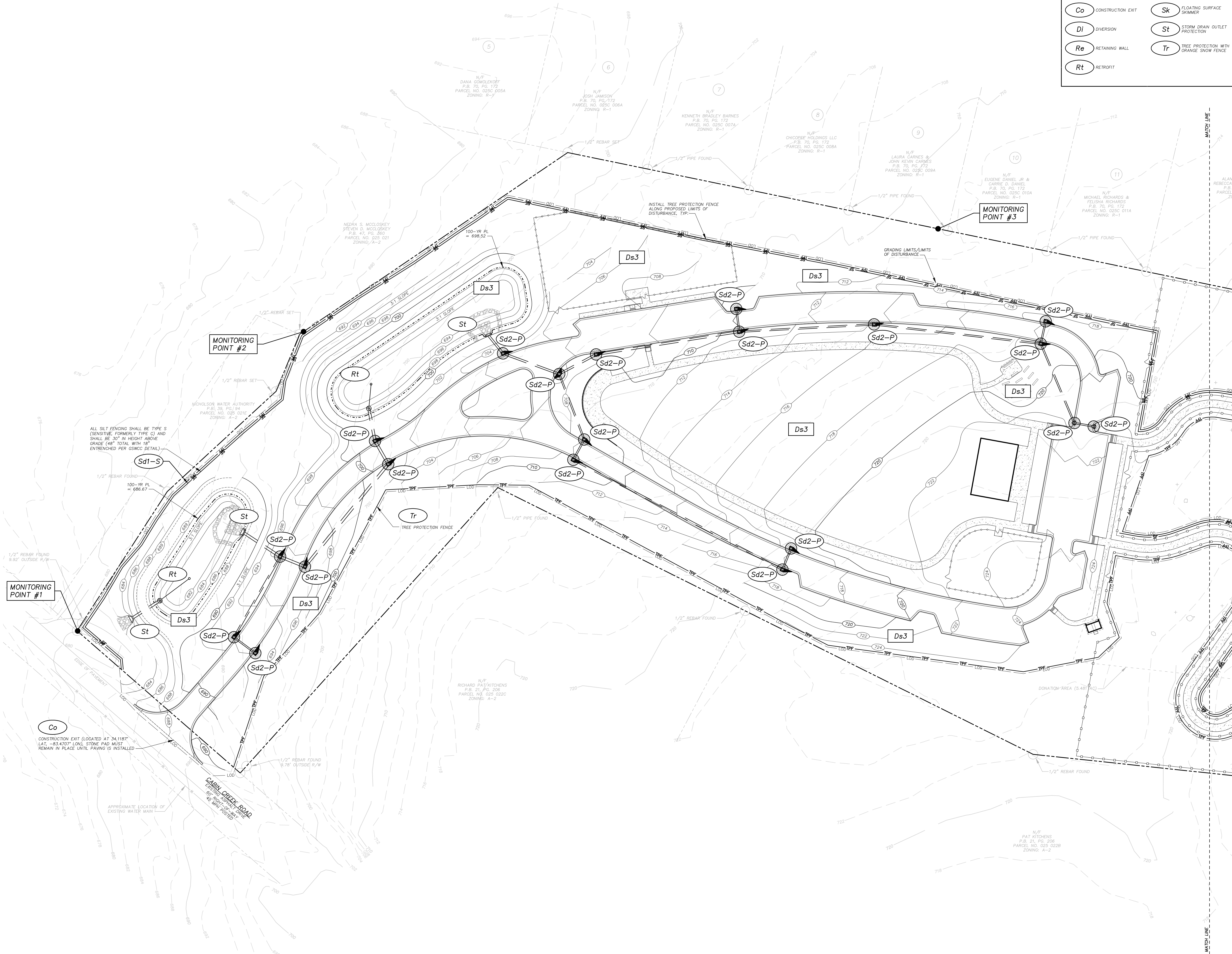
PROJECT NUMBER: JKS002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE:
EROSION CONTROL PHASE 2 (NORTH)

SHEET NUMBER:
C8
OF 18 SHEETS



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EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY	Sd1-S	SEDIMENT BARRIER WITH TYPE SENSITIVE SILT FENCE
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Co	CONSTRUCTION EXIT	Sk	FLOATING SURFACE SUMMER
Di	DIVERSION	St	STORM DRAIN OUTLET PROTECTION
Re	RETAINING WALL	Tr	TREE PROTECTION WITH CRANE SNOW FENCE
Rt	RETROFIT		

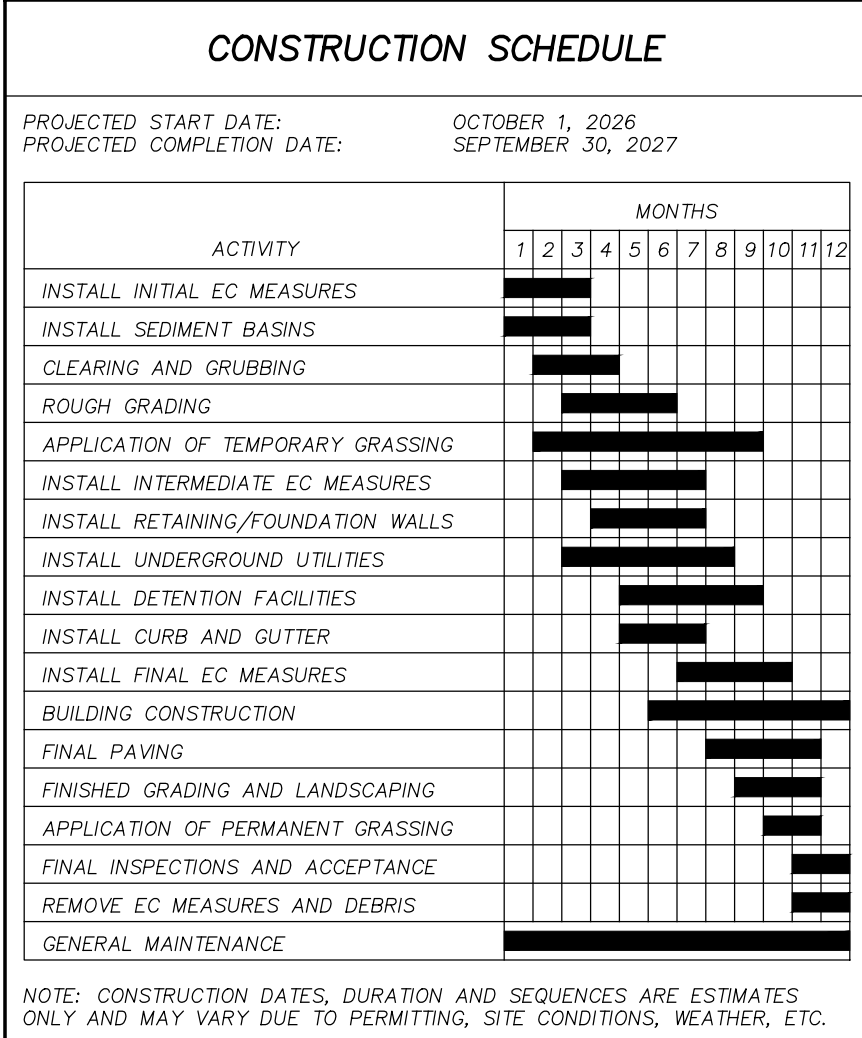
SITE ADDRESS:
O CABIN CREEK ROAD
JEFFERSON, GA 30549

SITE ENTRANCE COORDINATES:
34.1187° LAT
-83.4707° LONG

VICINITY MAP

24-HR LOCAL ES&PC CONTACT PERSON:
BARRY VICKERY, (706) 286-6353

- EROSION CONTROL NOTES**
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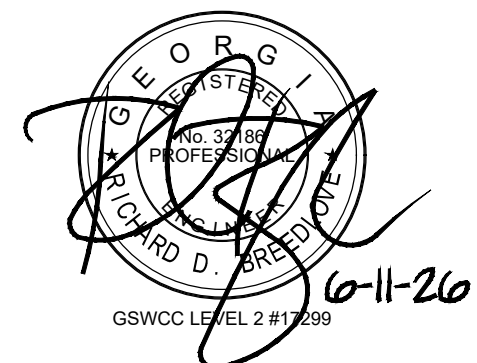
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DATE	DESCRIPTION
4/20/26	DESIGN DEVELOPMENT SET FOR OWNER'S REVIEW
6/11/26	1ST SUBMITTAL TO JACKSON COUNTY

North Oconee Heritage Park
SITE DEVELOPMENT PLANS
DEVELOPER INFORMATION:
JACKSON COUNTY, GEORGIA
4400 W. JACKSON HWY
JEFFERSON, GA 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JK5002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE:
**EROSION CONTROL
PHASE 3
(SOUTH)**

SHEET NUMBER:
C9
OF 18 SHEETS



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ISSUE	DATE	DESCRIPTION		
			DATE	DESCRIPTION
1	4/20/26	DESIGN DEVELOPMENT SET FOR OWNER'S REVIEW		
2	6/11/26	LDP SUBMITTAL TO JACKSON COUNTY		

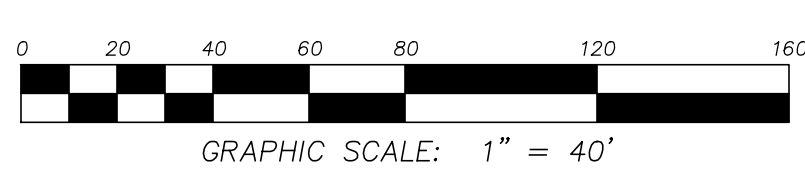
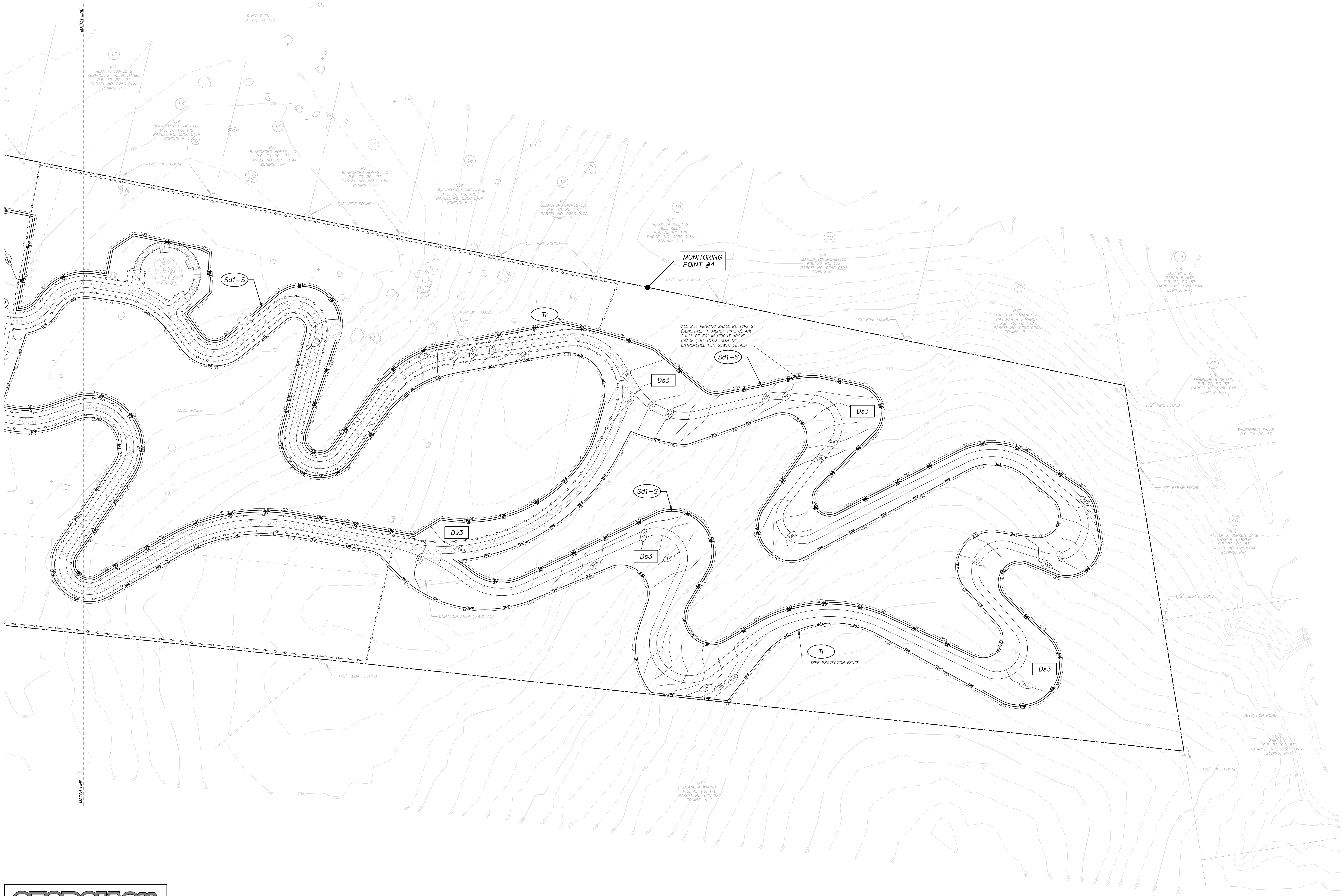
North Oconee Heritage Park
SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION
JACKSON COUNTY, GEORGIA
4000 JEFFERSON, G.A. 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY

24-HR CONTACT: BARRY VICKERY, (706) 286-6353

SITE INFORMATION
O CABIN CREEK ROAD
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING

PROJECT NUMBER:	JKS002
DATE:	6/11/26
ISSUE NUMBER:	2
CHECKED BY:	RDB
SHEET TITLE:	EROSION CONTROL PHASE 3 (NORTH)
SHEET NUMBER:	C10



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Watkinsville, GA 30677
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SITE INFORMATION
O CARIN CREEK ROAD
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING

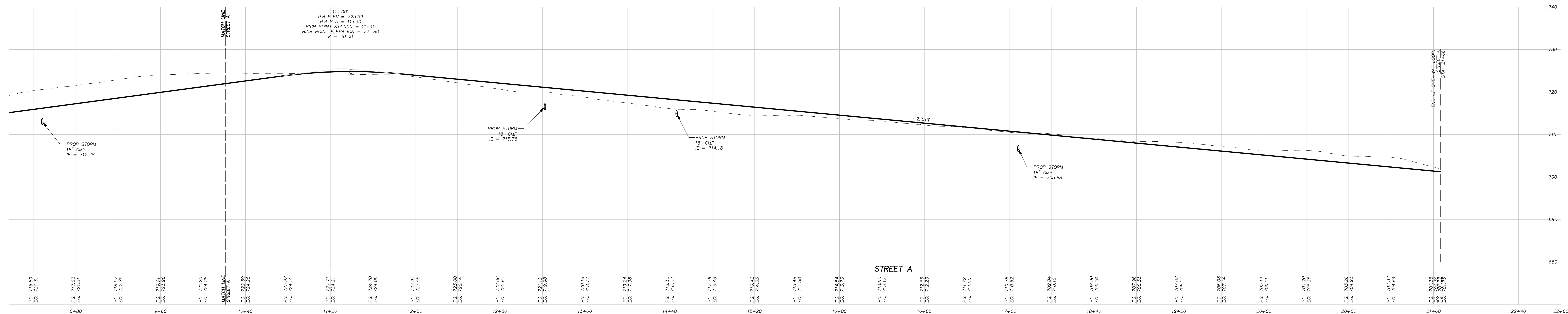
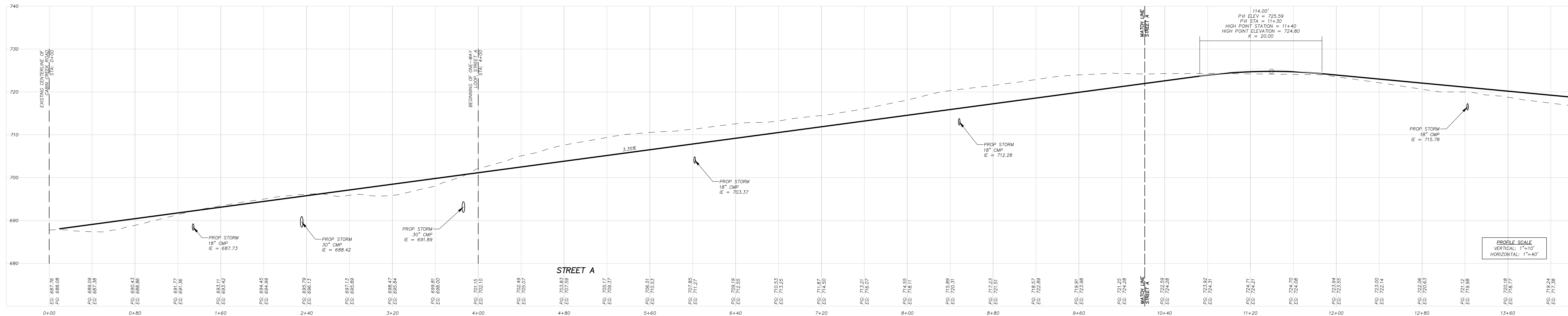
DEVELOPER INFORMATION
JACKSON COUNTY, GEORGIA
4965 COUNTRY PARKWAY
JEFFERSON, GA 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKIE

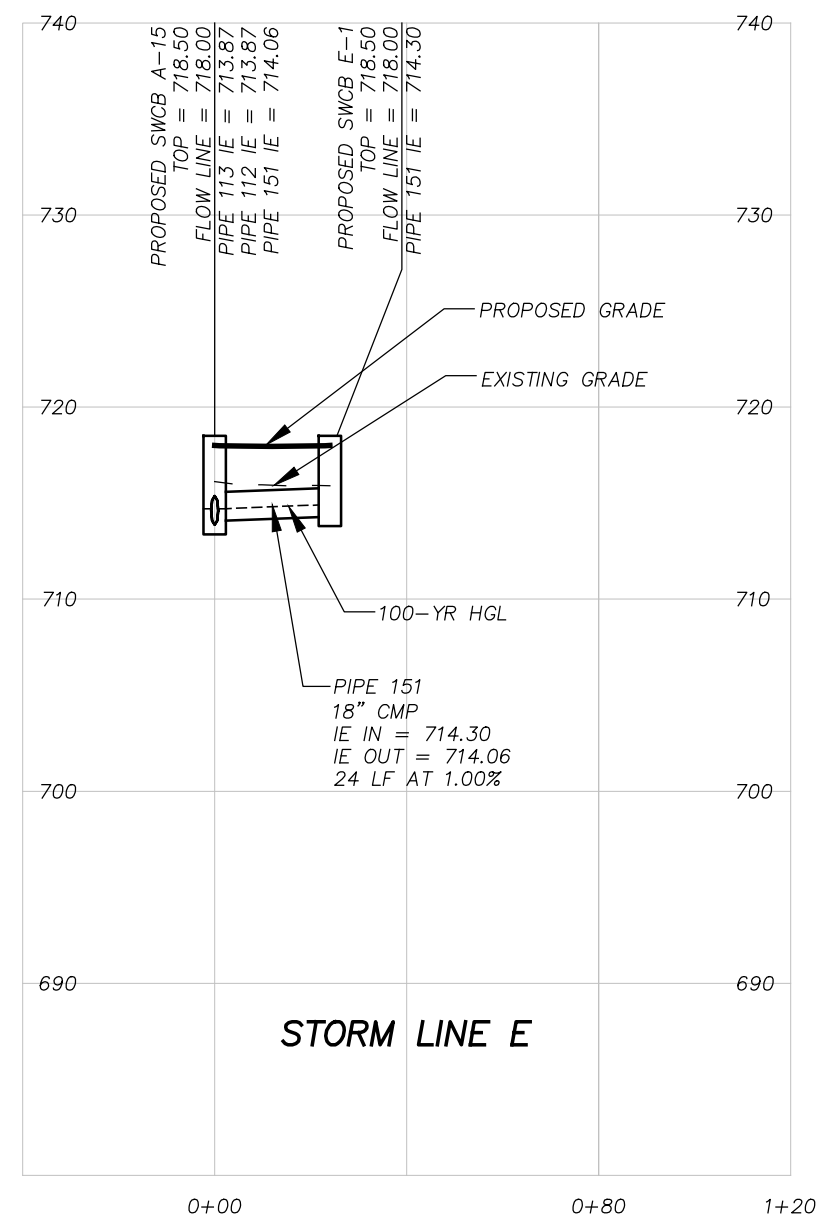
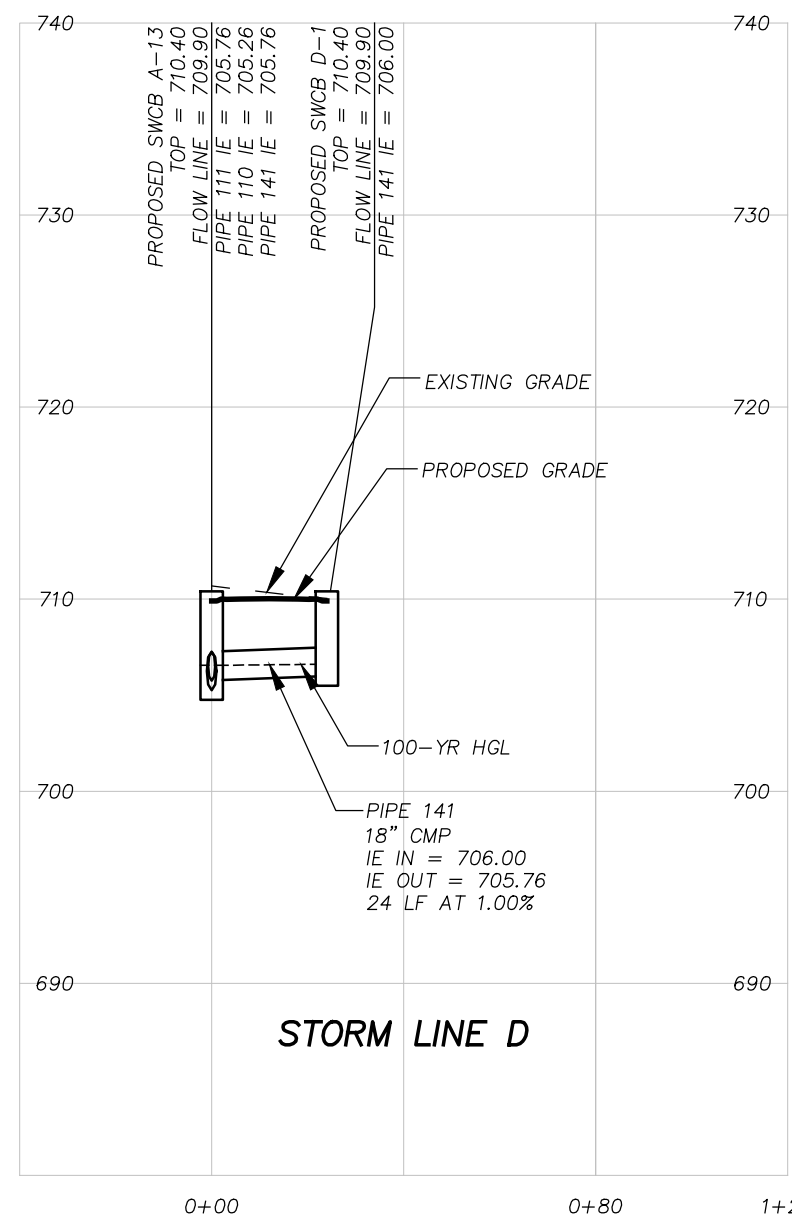
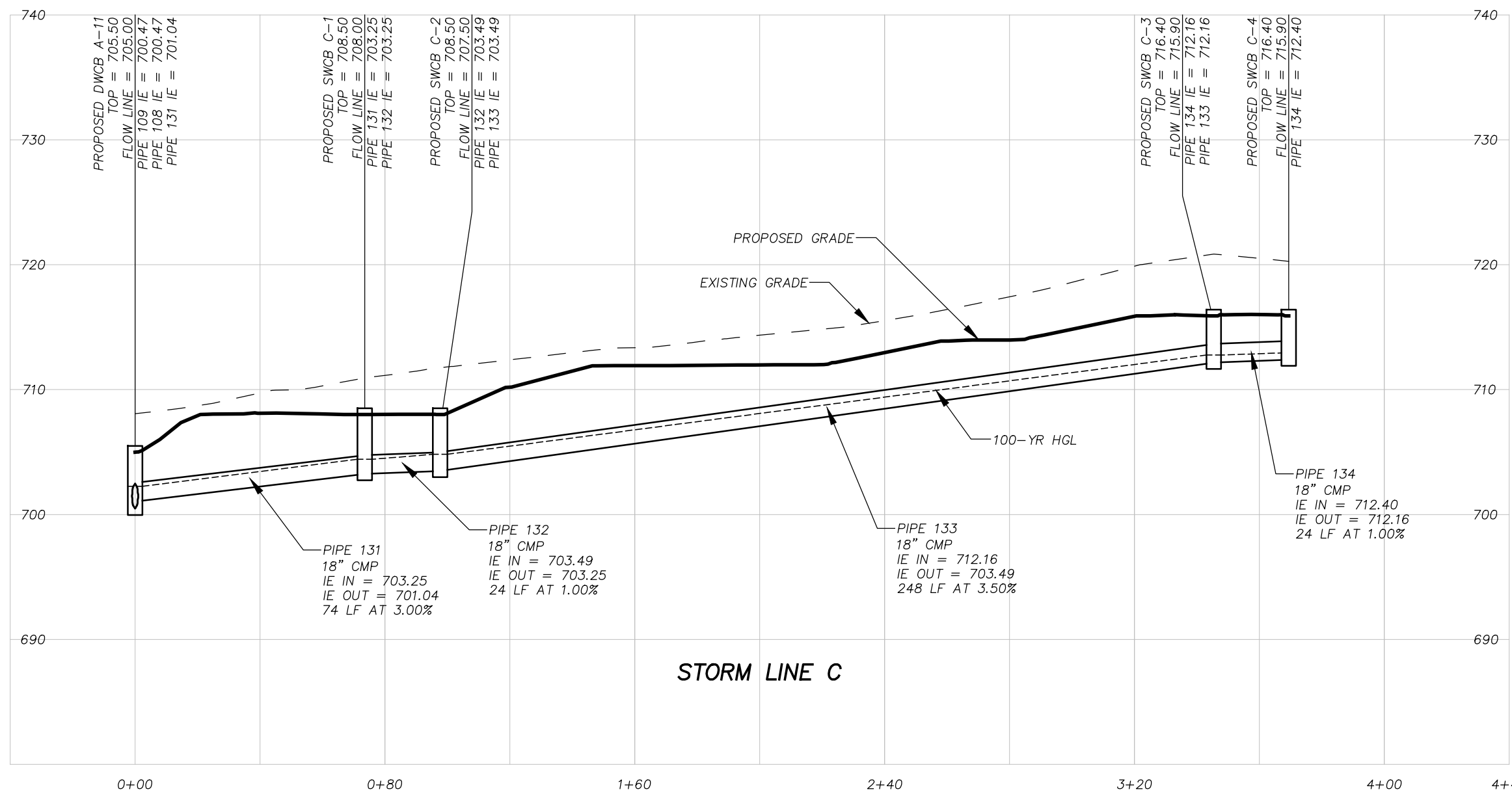
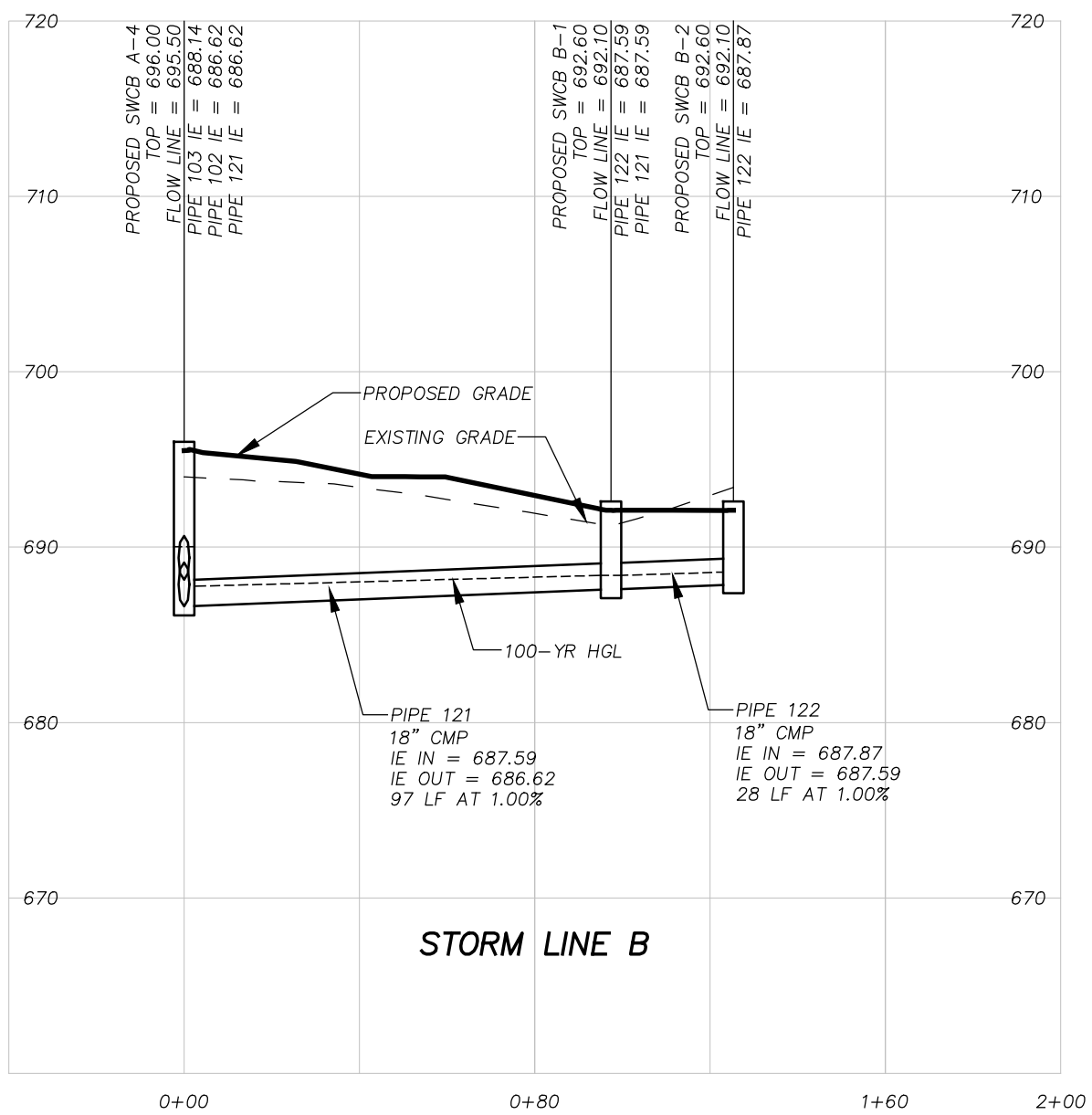
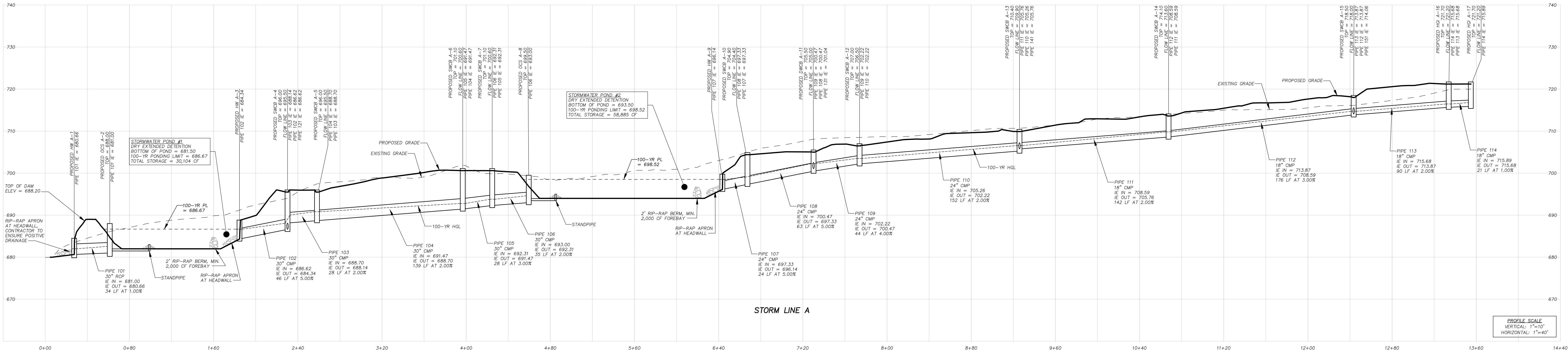
3.25 ACRES
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

ROAD PROFILES

C11

OF 18 SHEETS





Pipe Chart														
Pipe Number	Inside Diameter (in)	Material	Length (ft)	Slope (%)	Inlet Basin Area (acres)	Composite Basin Area (acres)	Time of Concentration (min)	Rainfall Intensity (in/hr)	Weighted Runoff Coefficient	Inlet Flow (cfs)	Accumulated Flow (cfs)	Max Flow Velocity (ft/sec)	Storm Frequency (yr)	Notes
PIPE 101	30	RCP	34	1.00	-	3.00	5	11.0	-	-	15.89	6.43	100	POND 1 OUTLET
PIPE 102	30	CMP	46	5.00	0.05	3.00	5	11.0	0.95	0.47	26.98	9.11	100	
PIPE 103	30	CMP	28	2.00	1.91	2.43	5	11.0	0.36	7.54	24.37	6.10	100	
PIPE 104	30	CMP	139	2.00	0.24	0.52	5	11.0	0.48	1.28	17.21	6.82	100	
PIPE 105	30	CMP	28	3.00	0.28	0.28	5	11.0	0.73	2.22	16.47	8.24	100	
PIPE 106	30	CMP	35	1.97	-	-	5	11.0	-	-	16.61	6.68	100	POND 2 OUTLET
PIPE 107	24	CMP	24	4.99	0.12	4.78	5	11.0	0.95	1.26	23.79	8.27	100	
PIPE 108	24	CMP	63	4.99	0.09	4.66	5	11.0	0.58	0.57	22.78	7.45	100	
PIPE 109	24	CMP	44	4.00	0.58	2.83	5	11.0	0.42	2.66	14.37	5.75	100	
PIPE 110	24	CMP	152	2.00	0.77	2.25	5	11.0	0.49	4.15	11.95	5.63	100	
PIPE 111	18	CMP	142	2.00	0.37	1.36	5	11.0	0.49	2.02	7.31	5.09	100	
PIPE 112	18	CMP	176	3.00	0.10	0.99	5	11.0	0.51	0.57	5.99	4.76	100	
PIPE 113	18	CMP	90	2.00	0.11	0.60	5	11.0	0.95	1.10	4.04	4.15	100	
PIPE 114	18	CMP	21	1.00	0.49	0.49	5	11.0	0.56	3.03	3.00	2.97	100	
PIPE 121	18	CMP	97	1.00	0.03	0.52	5	11.0	0.95	0.30	2.24	1.55	100	
PIPE 122	18	CMP	28	1.00	0.49	0.49	5	11.0	0.39	2.08	2.04	2.43	100	
PIPE 131	18	CMP	74	3.00	0.70	1.74	5	11.0	0.45	3.48	8.26	5.85	100	
PIPE 132	18	CMP	24	1.00	0.39	1.04	5	11.0	0.44	1.86	5.20	3.36	100	
PIPE 133	18	CMP	248	3.50	0.44	0.65	5	11.0	0.54	2.60	3.73	3.24	100	
PIPE 134	18	CMP	24	1.00	0.21	0.21	5	11.0	0.58	1.31	1.29	2.06	100	
PIPE 141	18	CMP	24	1.00	0.12	0.12	5	11.0	0.95	1.30	1.23	2.29	100	
PIPE 151	18	CMP	24	1.00	0.29	0.29	5	11.0	0.51	1.62	1.60	2.31	100	

North Oconee Heritage Park
SITE DEVELOPMENT PLANS
SITE INFORMATION
O CABIN CREEK ROAD
JACKSON COUNTY, GEORGIA
4800 COUNTRY CLUB DRIVE
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JK5002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE:

STORM
PROFILES

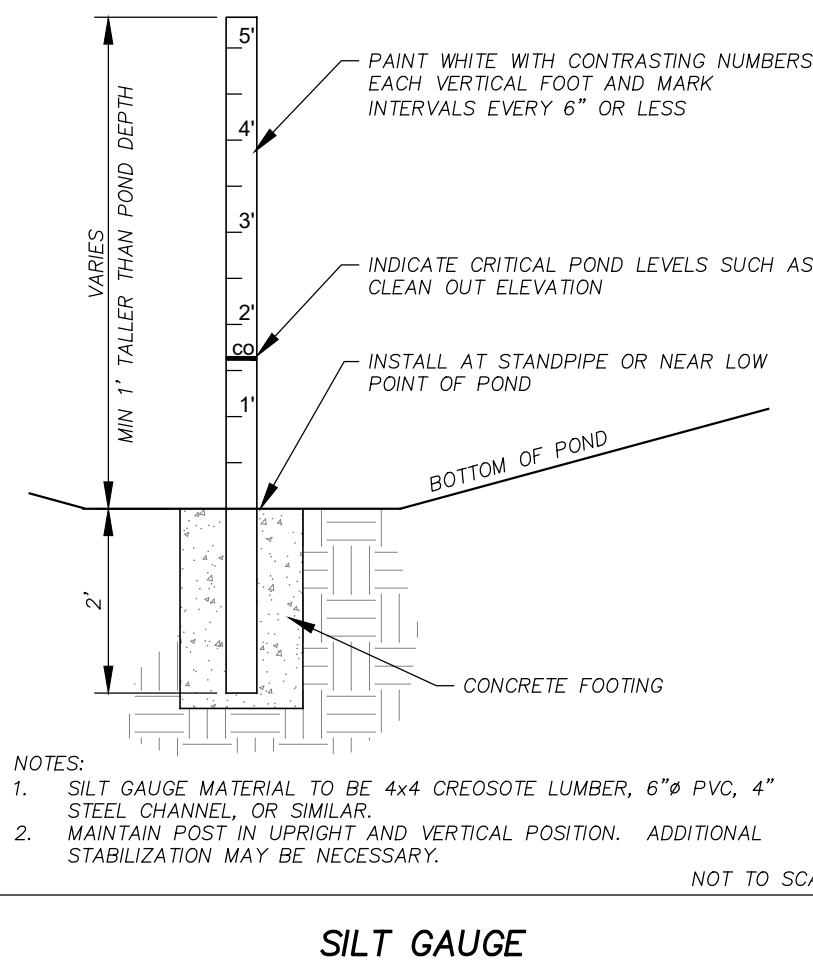
SHEET NUMBER:
C12

TEMPORARY SEDIMENT BASIN CALCULATIONS

Project name:	North Oconee Heritage Park
Basin designation:	Sd3
Total area draining to basin (A):	6.52 acres
Disturbed area draining to basin:	6.52 acres
VOLUME	
1. Minimum required storage volume (V _s):	436.84 cy
2. Volume of basin at clean-out (V _c):	143.44 cy
3. Minimum riser crest elevation:	696 ft
4. Elevation of minimum storage volume:	694.8 ft
5. Clean-out elevation:	694.8 ft
6. Elevation of clean-out volume:	694.8 ft
7. Riser height:	2 ft
8. Riser crest elev - outlet pipe invert:	692.8 ft
STORMWATER RUNOFF	
9. Peak discharge from a 2-year storm (Q ₂):	13.14 cfs
10. Q ₂ = C(A) (0.35) (5.76 in/hr) (A)	13.14 cfs
11. Peak discharge from a 25-year storm (Q ₂₅):	18.89 cfs
12. Q ₂₅ = C(A) (0.35) (8.28 in/hr) (A)	18.89 cfs
SURFACE AREA AND CONFIGURATION	
13. Minimum basin surface area (S _{min}):	5726 sf
14. S _{min} = (Q ₂) (0.01 ac/cfs) (43.560 sf/ac)	5726 sf
15. Actual surface area of riser crest elevation:	7883 sf
16. Is surface area adequate?	Yes
17. Average width of pond:	68 ft
18. Required length of pond:	136 ft
19. Length must equal at least 2x width:	240 ft
20. Average length of pond:	136 ft
21. Is pond length adequate?	Yes
PRINCIPAL SPILLWAY	
22. Maximum spillway capacity:	13.14 cfs
23. Maximum spillway pipe head (H):	6 ft
24. H = top of dam - outlet pipe invert of riser	6 ft
25. Minimum spillway pipe length (L):	58 ft
26. Manual input, or ref. Figure 6-22.1	58 ft
27. Length of principal spillway (L):	18 in
28. NO BATTERS ARE REQUIRED FOR THIS DESIGN	13.14 cfs
29. Flow through the principal spillway (Q _{ps}):	1
30. Using H and Q _{ps} , ref. Table 6-22.1	1
31. Connection factor for pipe length:	1
32. Using L and Q _{ps} , ref. Table 6-22.1	1
33. Actual flow through spillway (Q _{ps}):	13.14 cfs
34. Q _{ps} = (Q) (connection factor)	13.14 cfs
35. Riser diameter (D _r):	30 in
36. D _r = (1.5) (Q _{ps})	30 in
37. Fresh rock diameter (D _f):	42 in
38. D _f = (1.4) (D _r)	42 in
39. Minimum height between riser crest and emergency spillway crest (h):	0.67 ft
40. Using D _r and Q _{ps} , ref. Table 6-22.2	0.67 ft

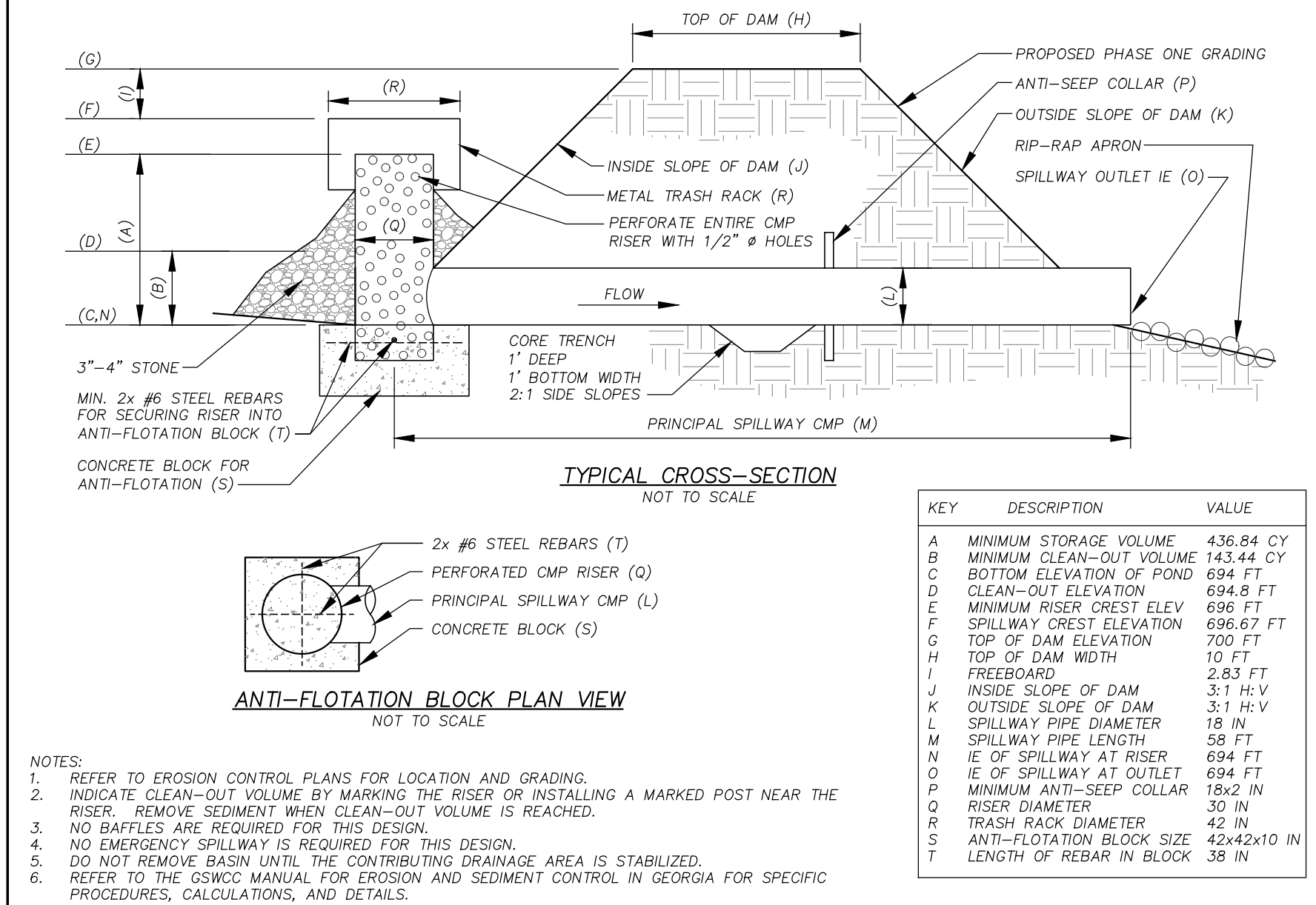
CONCRETE RISER BASE	
19. Concrete volume/V _r of riser height:	4.29 cu yd
20. Using D _r , ref. Table 6-22.1	4.29 cu yd
21. Total volume of concrete required:	8.58 cu yd
22. Volume = (riser height) (volume/V _r)	8.58 cu yd
23. Concrete riser base width (w):	42 in
24. w = D _r + 12	42 in
25. Concrete riser base length (l):	12.25 sf
26. Square base, so l = w = D _r + 12	12.25 sf
27. Riser base surface area:	10 in
28. Surface area = (l) (w)	10 in
29. Base thickness (B):	10 in
30. B = Volume/surface area, rounded up	10 in
ANTI-SEEP COLLAR	
24. Is an anti-seep collar required?	Yes
25. Only required when D _r > 12" CMP	Yes
26. Anti-seep collar size:	18 in
27. Use 18" when H is 10 ft or less, otherwise use 24"	18 in
EMERGENCY SPILLWAY	
28. Emergency spillway capacity (Q _{ps}):	5.49 cfs
29. Q _{ps} = Q ₂₅ - Q _{ps} , if necessary	5.49 cfs
30. Is an emergency spillway needed?	Yes
31. Only needed if Q ₂₅ exceeds Q _{ps}	Yes
32. (n/a)	
33. (n/a)	
34. (n/a)	
DESIGN ELEVATIONS	
35. Minimum riser crest elevation:	696 ft
36. Emergency spillway crest elevation:	696.67 ft
37. Riser crest elevation = H	696.67 ft
38. High water elevation:	697.17 ft
39. Emergency spillway crest elevation + H _p	697.17 ft
40. Minimum top of dam elevation:	696.67 ft
41. High water elevation = 1 ft. freeboard	696.67 ft
42. Actual top of dam elevation:	700 ft

* The procedures, calculations, and charts mentioned here are referenced from the GSWC Manual for Erosion and Sediment Control in Georgia.



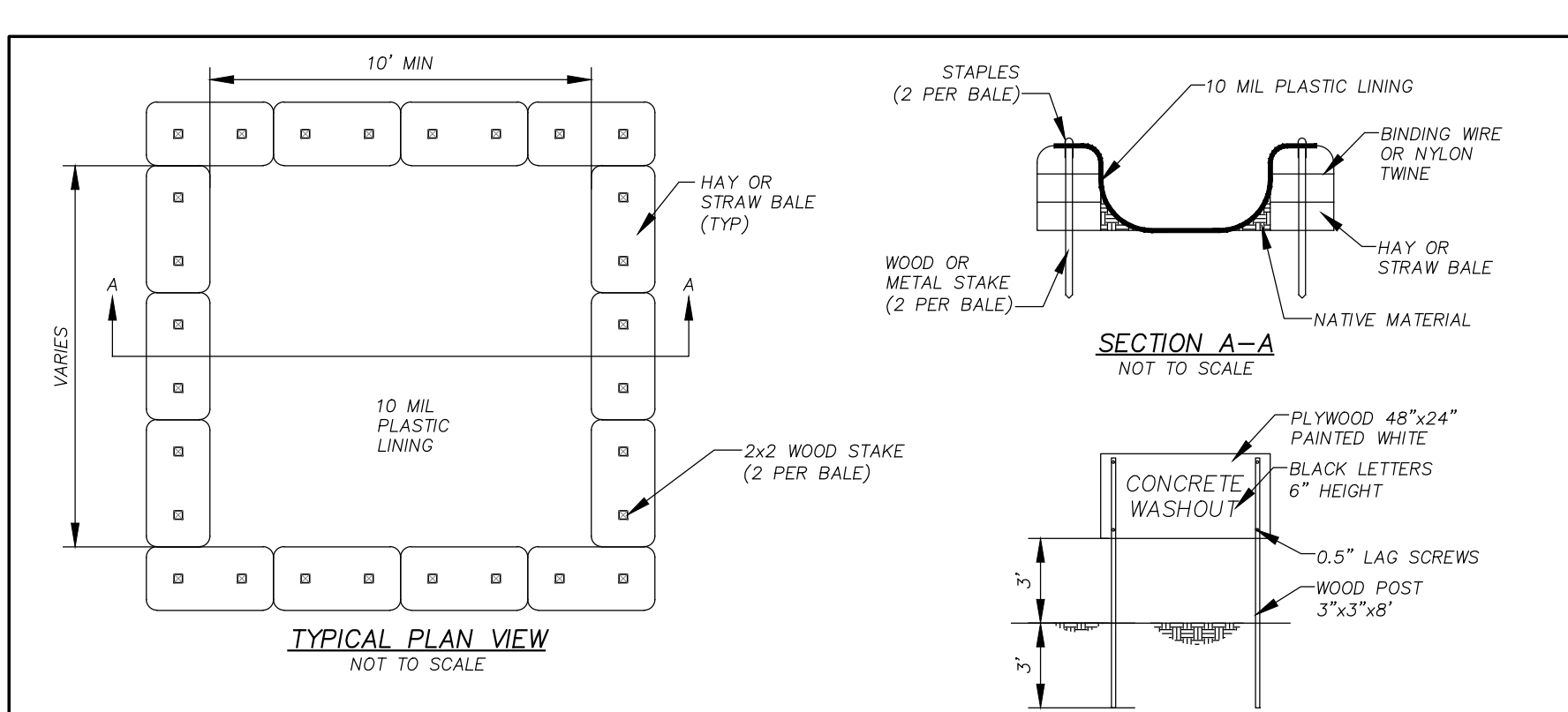
SILT GAUGE

NOTES:
1. SILT GAUGE MATERIAL TO BE 4x4 CROSETTE LUMBER, 6" PVC, 4" STEEL CHANNEL, OR SIMILAR.
2. MAINTAIN POST IN UPRIGHT AND VERTICAL POSITION. ADDITIONAL STABILIZATION MAY BE NECESSARY.



TEMPORARY SEDIMENT BASIN DETAIL

NOTES:
1. REFER TO EROSION CONTROL PLANS FOR LOCATION AND GRADING.
2. INDICATE CLEAN-OUT VOLUME BY MARKING THE RISER OR INSTALLING A MARKED POST NEAR THE RISER. REMOVE SEDIMENT WHEN CLEAN-OUT VOLUME IS REACHED.
3. NO BATTERS ARE REQUIRED FOR THIS DESIGN.
4. NO EMERGENCY SPILLWAY IS REQUIRED FOR THIS DESIGN.
5. DO NOT REMOVE BASIN UNTIL THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.
6. REFER TO THE GSWC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR SPECIFIC PROCEDURES, CALCULATIONS, AND DETAILS.



CONCRETE WASHDOWN AREA

NOTES:
1. ACTUAL LAYOUT SHALL BE DETERMINED IN THE FIELD.
2. SUFFICIENT VOLUME SHOULD BE PROVIDED TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. UNDER NO CIRCUMSTANCES SHALL WASHOUT WASTE ESCAPE THE FACILITY AND FLOW INTO THE STORMWATER SYSTEM OR CREATE RUNOFF.
3. TEMPORARY WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM OF 4" OF FREEBOARD.
4. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
5. MAINTAINING TEMPORARY WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITY TO A FUNCTIONING CONDITION.
6. WHEN THE WASHOUT FACILITY IS NO LONGER REQUIRED, THE HARDENED CONCRETE SHALL BE BROKEN UP, REMOVED AND DISPOSED OF ACCORDING TO APPROVED CONSTRUCTION WASTE DISPOSAL MEANS. MATERIALS USED TO CONSTRUCT THE WASHOUT FACILITY SHALL BE REMOVED AND PROPERLY DISPOSED.
7. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY REMOVAL OF THE WASHOUT FACILITY SHOULD BE BACKFILLED AND REPAIRED.
8. WASHOUT OF THE GRIM AT THE CONSTRUCTION SITE IS PROHIBITED.
9. A SIGN SHOULD BE INSTALLED ADJACENT TO ALL WASHOUT FACILITIES TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

PLANTING SPECIFICATIONS:
1. INSTALLATION, PRODUCT SELECTION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE GSWC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
2. PERMANENT VEGETATION SHALL INCLUDE GRASS PREPARATION, LUMING, FERTILIZING, SEEDING, AND MULCHING.
3. INTERIM EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL AT LEAST 75% OF THE EXPOSED SURFACE IS SUFFICIENTLY STABILIZED.
4. PREPARE THE LAND FOR SEEDING BY APPLYING LIME AND FERTILIZER.
5. MULCH SHALL BE APPLIED UNIFORMITY WITHIN 24 HOURS OF SEEDING.
6. MULCH SHALL BE APPLIED UNIFORMITY WITHIN 24 HOURS OF SEEDING.
7. MULCH SHALL BE APPLIED UNIFORMITY WITHIN 24 HOURS OF SEEDING.
8. MULCH SHALL BE APPLIED UNIFORMITY WITHIN 24 HOURS OF SEEDING.
9. MULCH SHALL BE APPLIED UNIFORMITY WITHIN 24 HOURS OF SEEDING.
10. MULCH SHALL BE APPLIED UNIFORMITY WITHIN 24 HOURS OF SEEDING.

* PLANTING RATES SHOWN ARE FOR BROADCAST APPLICATIONS. REDUCE THESE RATES BY 50% FOR SEED DRILLING.

LIME AND FERTILIZER APPLICATION:
1. GRADED AREAS REQUIRE LIME APPLICATION.
2. AGRICULTURAL LIME SHALL BE APPLIED AT A RATE OF ONE (1) TO TWO (2) TONS PER ACRE UNLESS SOIL TESTS SUGGEST OTHERWISE. REPEAT APPLICATION EVERY FIVE (5) YEARS OR AS NEEDED.

* PERMANENT SEEDING MAY BE SUBSTITUTED WITH SOODING (Ds4) AT THE DISCRETION OF THE PROPERTY OWNER AND LOCAL INSPECTOR.

TEMPORARY SEDIMENT BASIN DETAIL

CONCRETE WASHDOWN AREA

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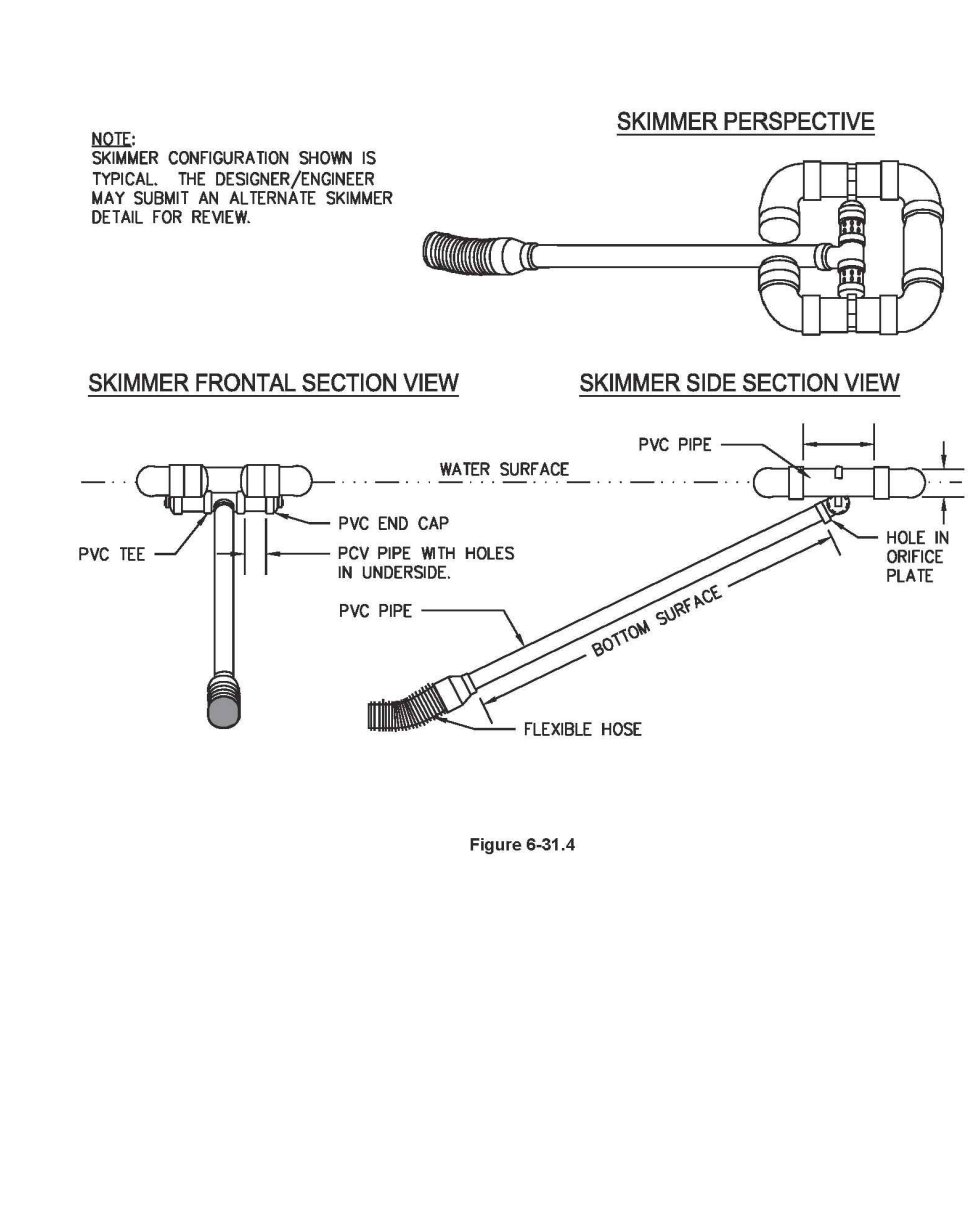
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TEMPORARY SEDIMENT BASIN DETAIL

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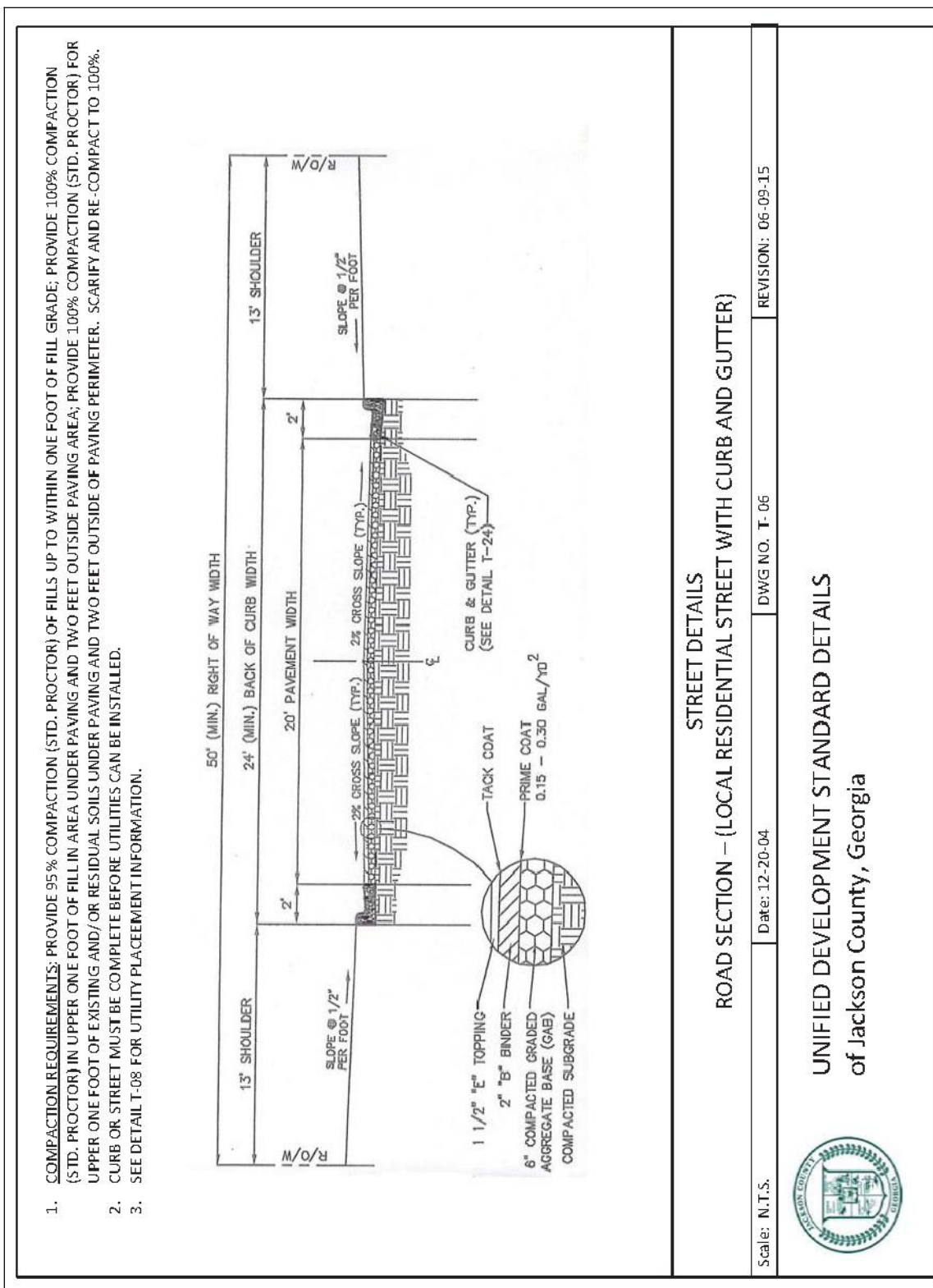
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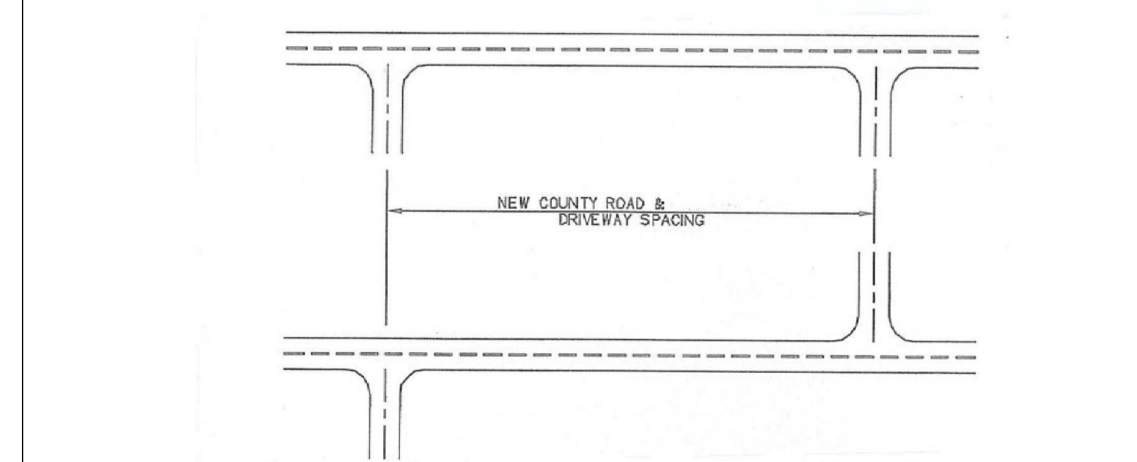
CONCRETE WASHDOWN AREA



1. NOTE: WHILE THE FOLLOWING INFORMATION PROVIDES A GENERAL GUIDE FOR THE NUMBER OF DRIVEWAYS TO BE ALLOWED ALONG A GIVEN RANGE OF FRONTAGE ON A COUNTRY ROAD, THE INFORMATION IS NOT TO BE TAKEN AS THE GUARANTEED NUMBER OF DRIVEWAYS A PROPERTY OWNER IS ENTITLED.

2. *125' STREET SPACING FOR INTERMEDIATE STREETS ONLY. ANY EXISTING NON-RESIDENTIAL STREET SPACING SHALL BE A MINIMUM OF 150'.

POSTED SPEED	CENTER-TO-CENTER DRIVEWAY/STREET SPACING (MIN.)
25 MPH	125'
30 MPH	125'
35 MPH	150'
40 MPH	150'
45 MPH	200'
50 MPH	250'
55 MPH	300'
60 MPH	400'
65 MPH	500'



STREET DETAILS
NEW COUNTY ROAD AND DRIVEWAY SPACING CRITERIA
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

Scale: N.T.S. Date: 12-20-04 DWG NO. T-10 REVISION: 06-09-15

1. PROVIDE PUBLIC DEVELOPMENT WITH CONCRETE STRENGTH TEST RESULTS FOR ALL POURED IN PLACE CONCRETE.

2. PROVIDE PUBLIC DEVELOPMENT WITH CORE TEST RESULTS FOR ASPHALT PAVEMENT AND BASE SECTIONS.

3. PLACE SIGNING, STRIPING, AND MARKINGS AS SHOWN AND/OR AS DIRECTED BY PUBLIC DEVELOPMENT.

4. PLACE WARNING DEVICES PRIOR TO THE COMMENCEMENT OF ROAD IMPROVEMENT WORK ON COUNTY ROADS AND KEEP IN PLACE UNTIL THE CONCLUSION OF ALL SIGNING AND STRIPING WORK.

5. ALL TRAFFIC CONTROL DEVICES TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS OR GEORGIA DOT STANDARDS (WHICHEVER IS MORE STRINGENT) FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.

6. SPACE WARNING DEVICES EQUAL TO THE POSTED SPEED OF THE ROAD IN MPH (I.E. 30 FOOT SPACING FOR 30 MPH SPEED LIMIT).

7. USE SIGNS CONFORMING TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND LOCAL REQUIREMENTS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.

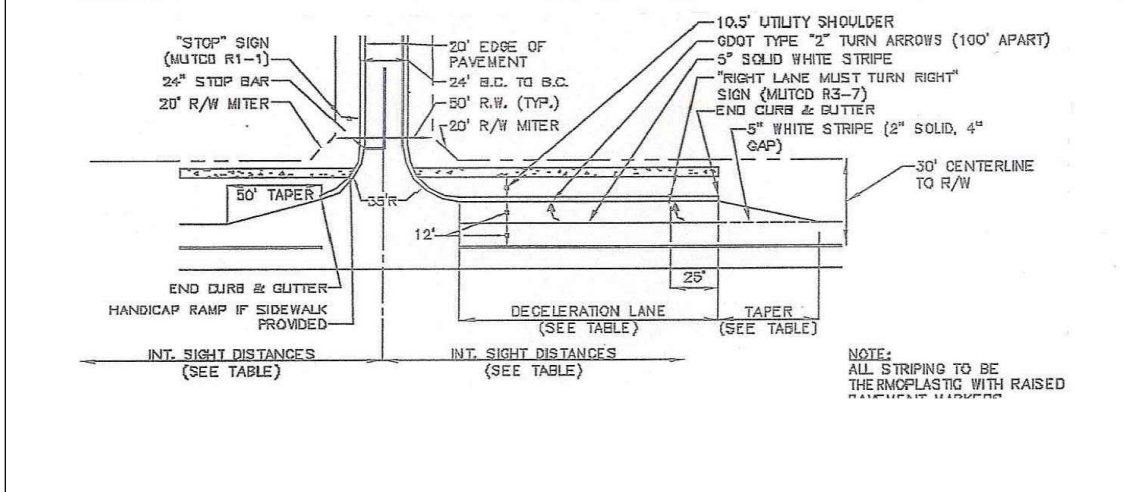
8. APPLY STRIPING (WHITE AND YELLOW) AND ARROW MARKING USING COUNTY OR GEORGIA DOT STANDARD THERMOPLASTIC.

9. WHEN NECESSARY, REMOVE EXISTING STRIPING BY GRINDING, UNLESS SPECIFIED BY PUBLIC DEVELOPMENT.

10. INSTALL ALL SIGNS CONCURRENTLY WITH THE PERFORMANCE OF STRIPING WORK.

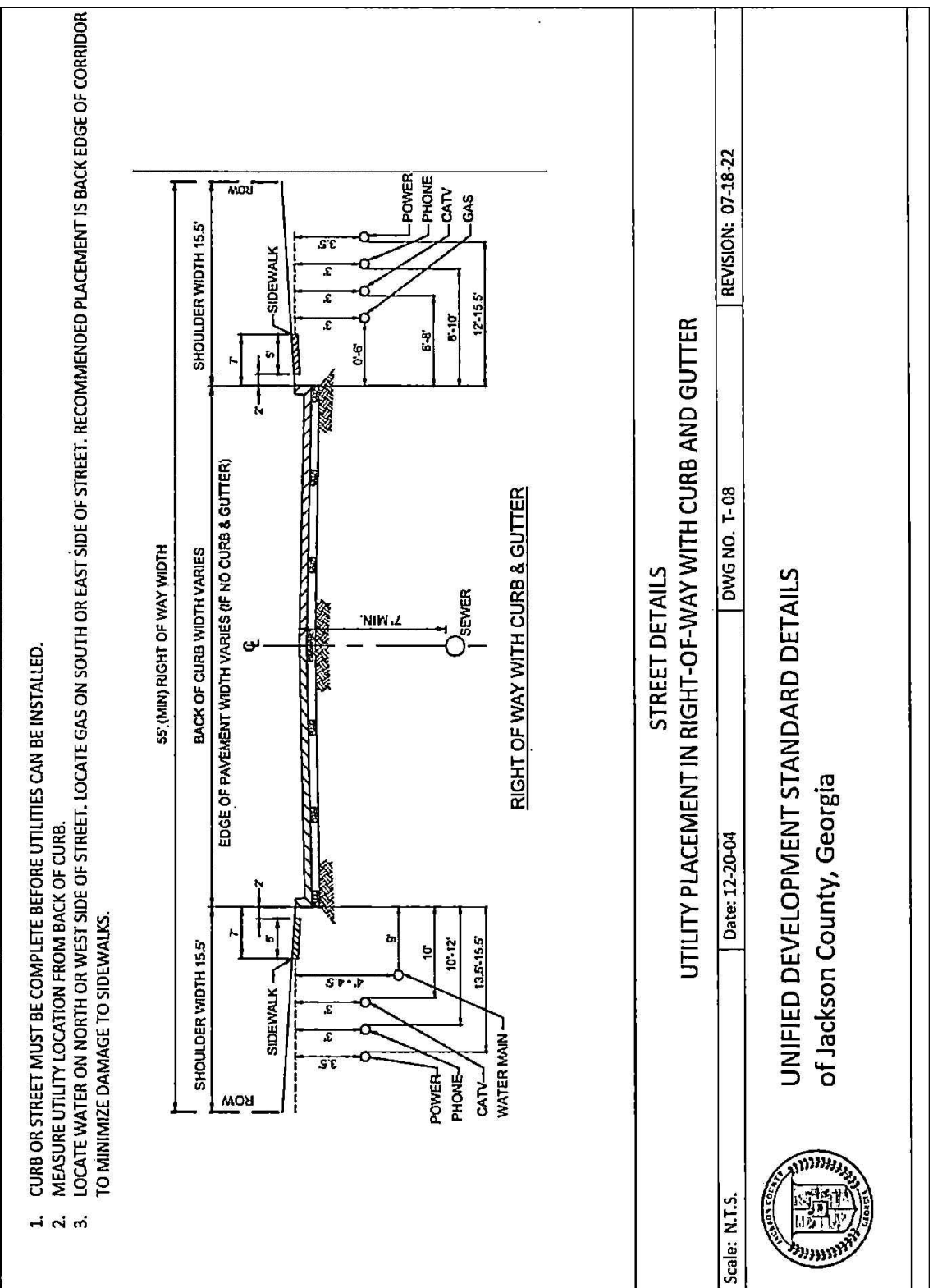
11. CONTACT PUBLIC DEVELOPMENT ONE WEEK PRIOR TO COMMENCEMENT OF ANY STRIPING WORK.

OPERATING SPEED	DECLARATION LANE (FROM TURN RADII TO EDGE OF PAVEMENT)	INTERSECTION SIGHT DISTANCE (FROM DRIVEWAY CL)
25 MPH OR LESS	75' ± 50' TAPER	280'
35 MPH	75' ± 50' TAPER	240'
40 MPH	100' ± 50' TAPER	210'
45 MPH	125' ± 50' TAPER	205'
55 MPH	200' ± 50' TAPER	455'



STREET DETAILS
DECLARATION LANE
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

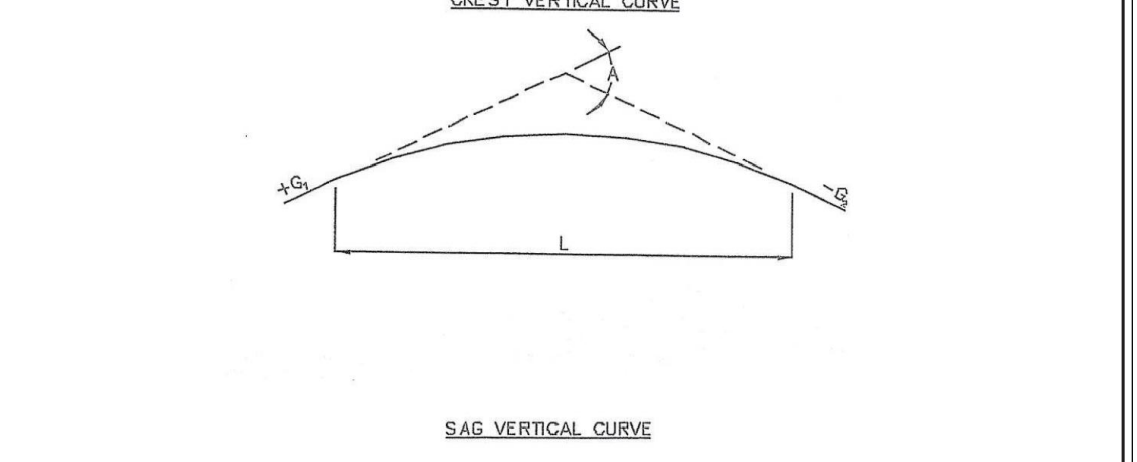
Scale: N.T.S. Date: 12-20-04 DWG NO. T-12 REVISION: 06-09-15



1. AASHTO GUIDELINES SHALL BE USED FOR EXTERNAL ROAD IMPROVEMENTS.

2. L = LENGTH OF VERTICAL CURVE, FT. A = GRADE DIFFERENCE IN GRADE, C₁ & C₂ = TANGENT GRADES IN PERCENT.

STREET CATEGORY	MINIMUM "K" VALUE, (L/A)	MINIMUM DESIRABLE	MINIMUM DESIRABLE	MAXIMUM GRADE (%)	MAXIMUM DESIGN SPEED (MPH)
ARTERIAL	100	170	80	110	55
MAJOR COLLECTOR	55	80	55	70	45
MINOR COLLECTOR	30	30	35	35	35
LOCAL COMMERCIAL	20	20	20	20	25
LOCAL RESIDENTIAL	15	20	15	15	25



STREET DETAILS
CONSTANT (K) VALUES FOR VERTICAL CURVES TO BE USED FOR NEW COUNTY ROADS AND STREETS INTERNAL TO DEVELOPMENTS
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

Scale: N.T.S. Date: 12-20-04 DWG NO. T-11 REVISION: 06-09-15

1. CONCRETE - 3000 PSI @ 28 DAYS.

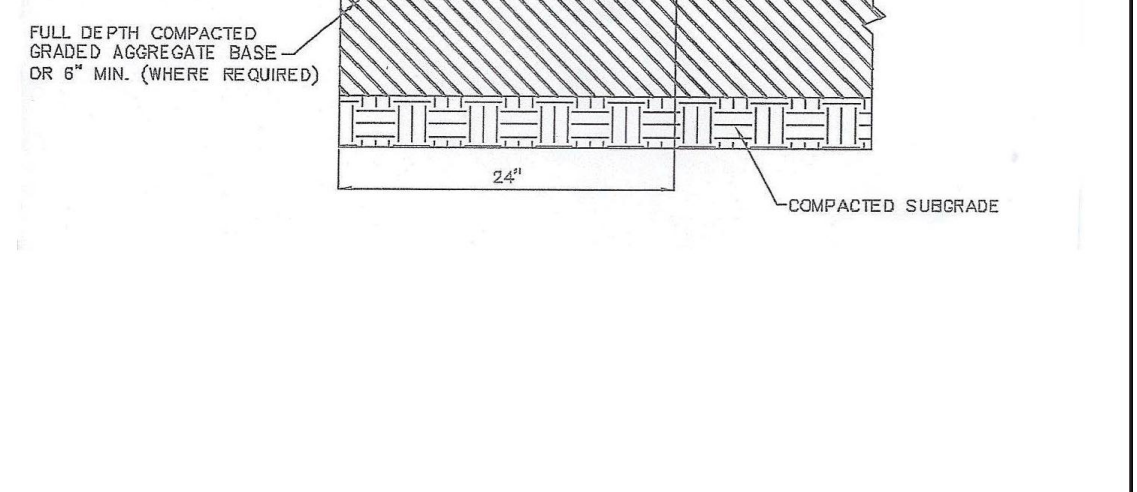
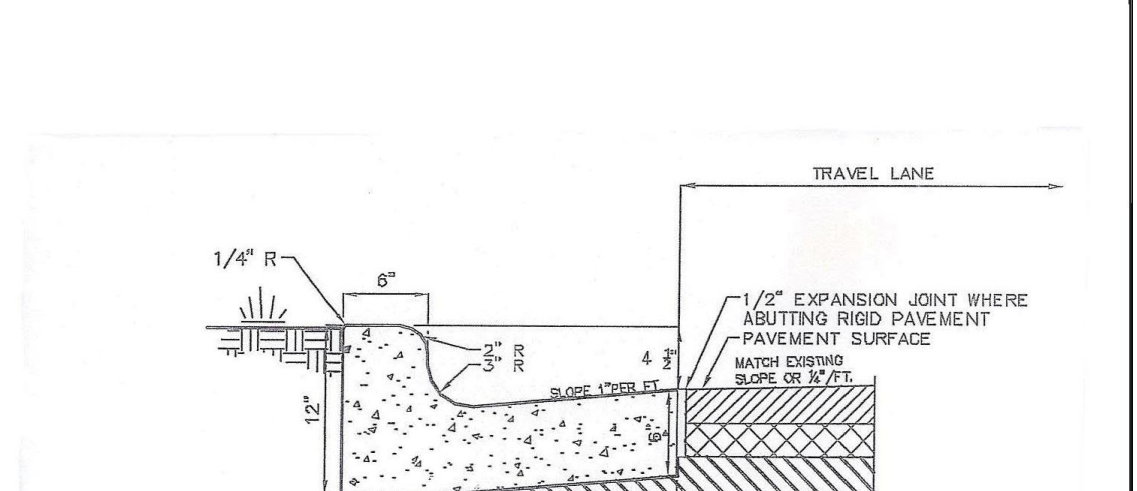
2. PROVIDE 1" DEEP CONTRACTION JOINT AT 30' INTERVALS.

3. PROVIDE 1/2" EXPANSION JOINT AT 50' INTERVALS, AT ALL TANGENT POINTS, AND AT ALL RIGID STRUCTURES AND RIGID PAVEMENT.

4. TOOL ALL EXPOSED EDGES AND JOINTS TO 1/4" RADIUS.

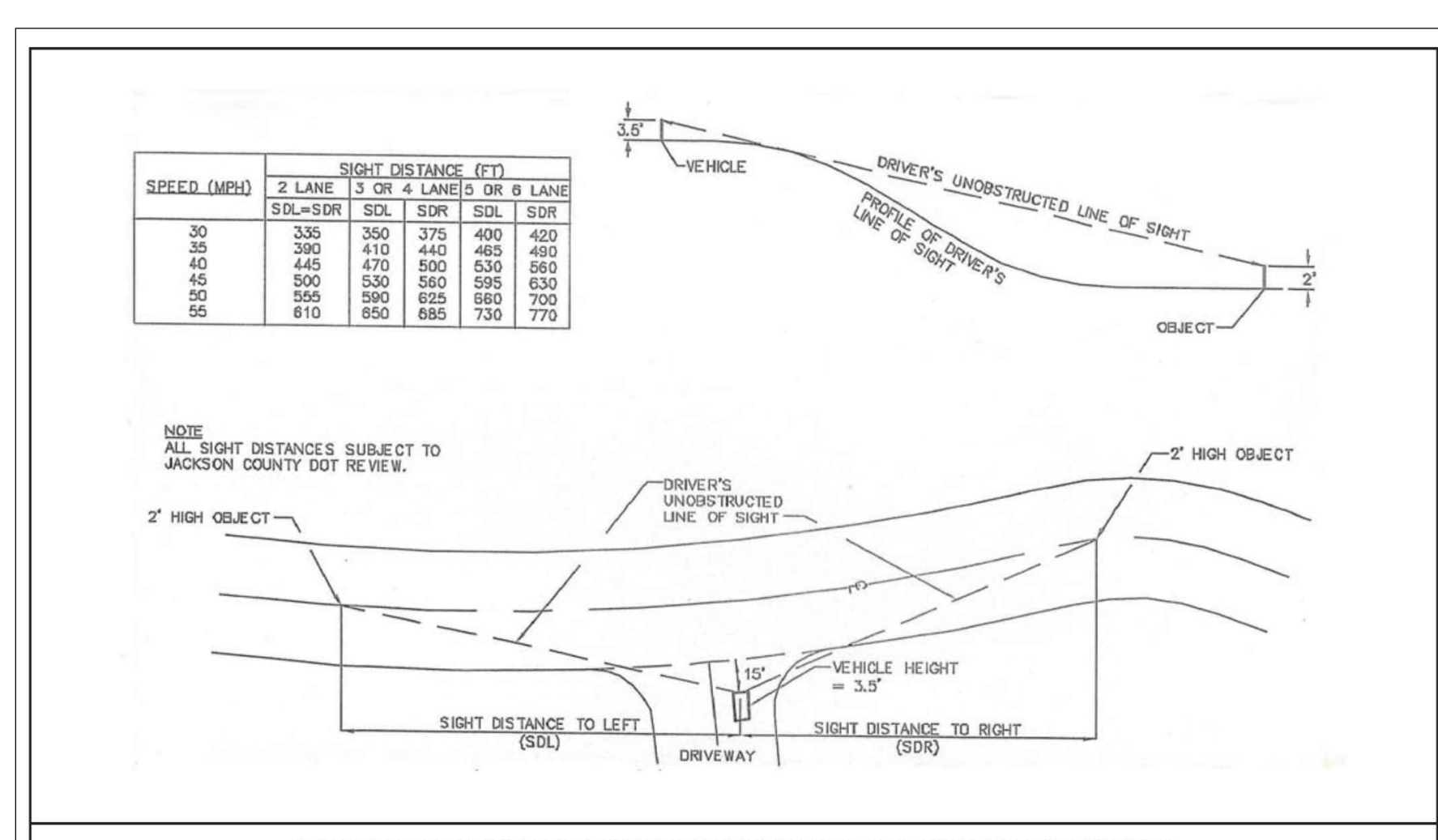
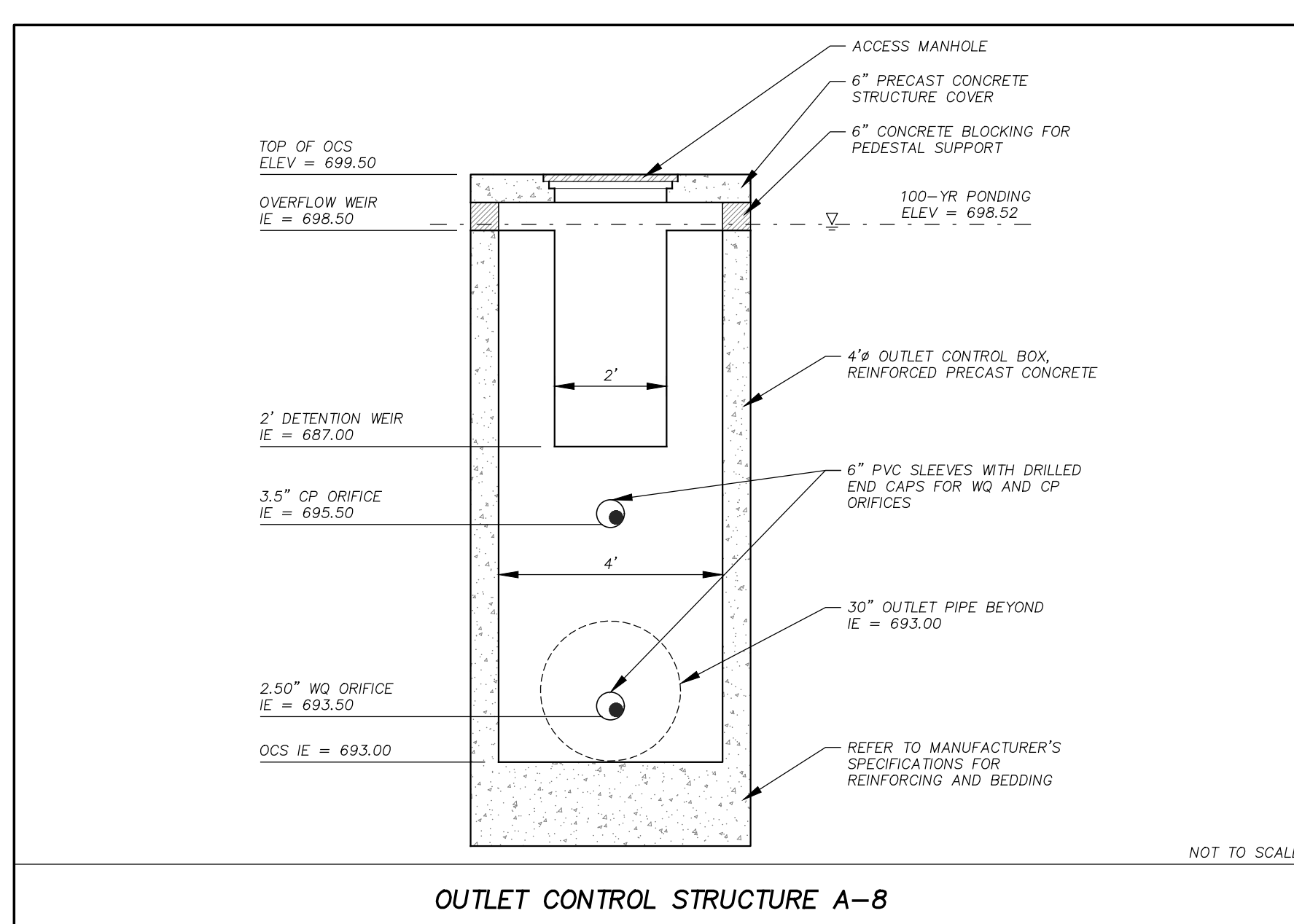
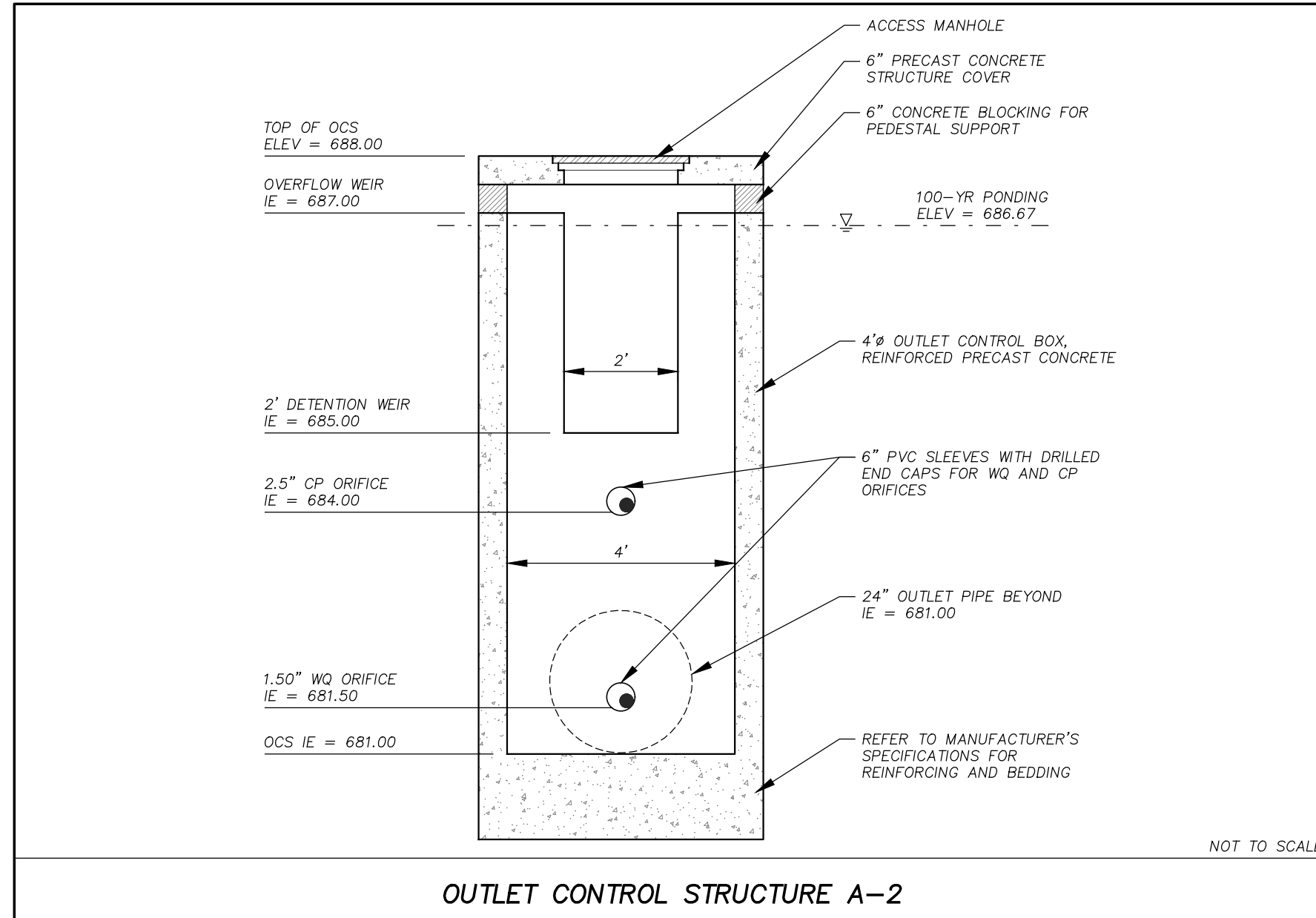
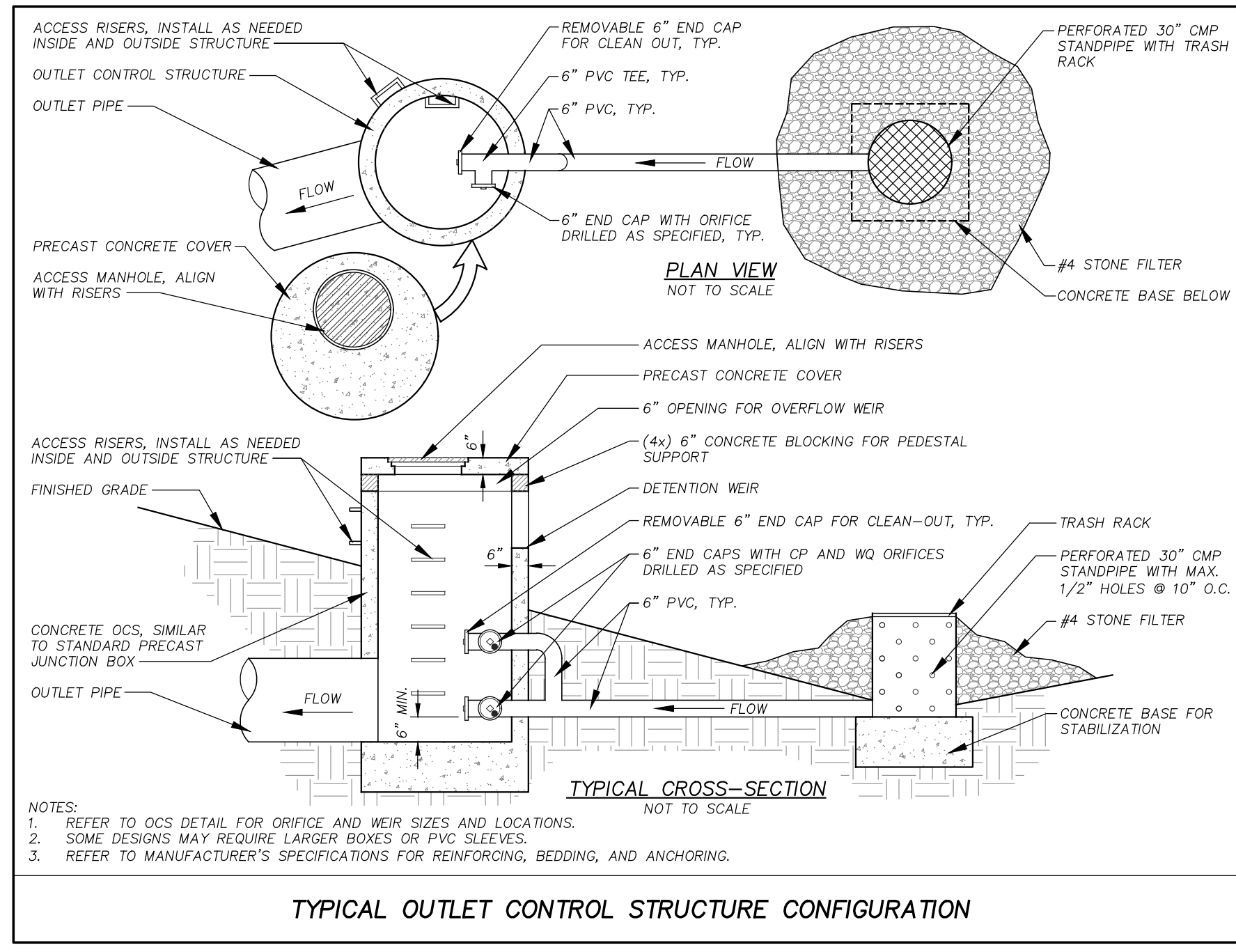
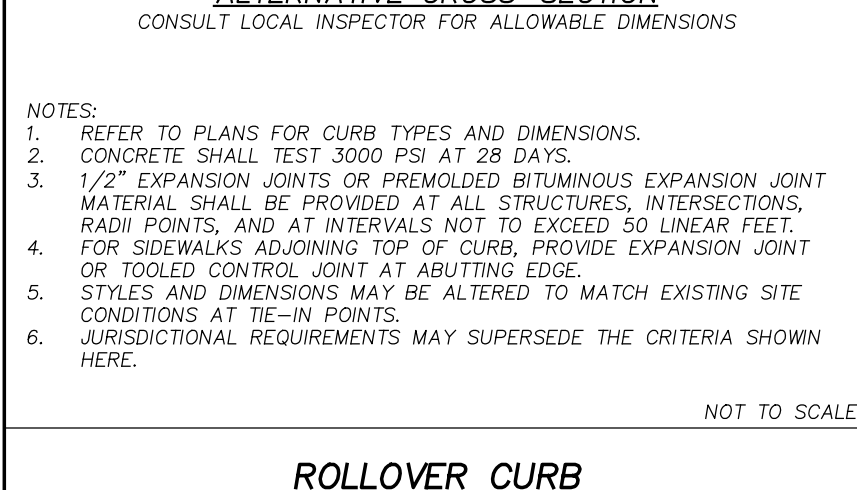
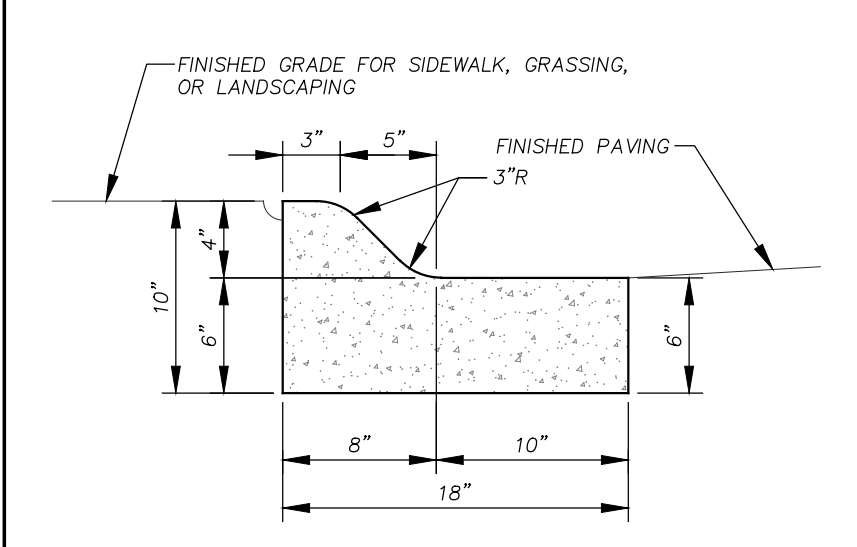
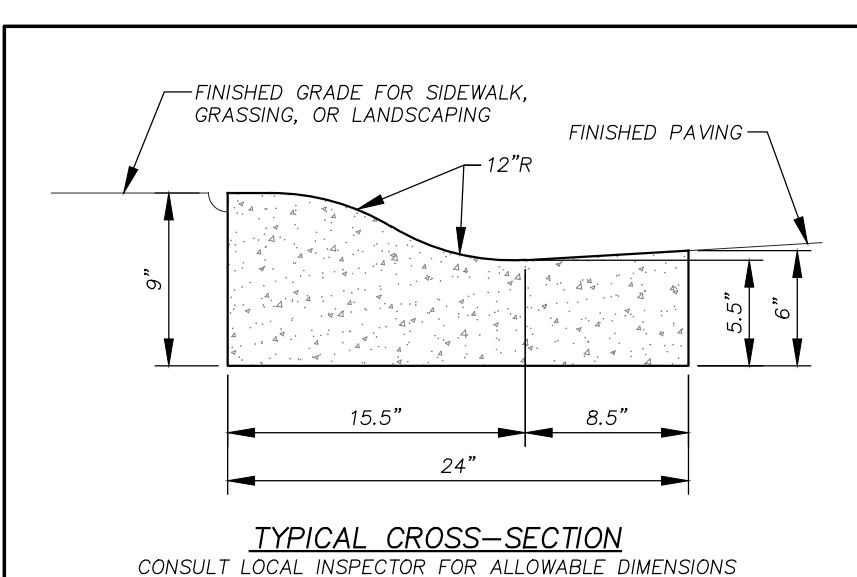
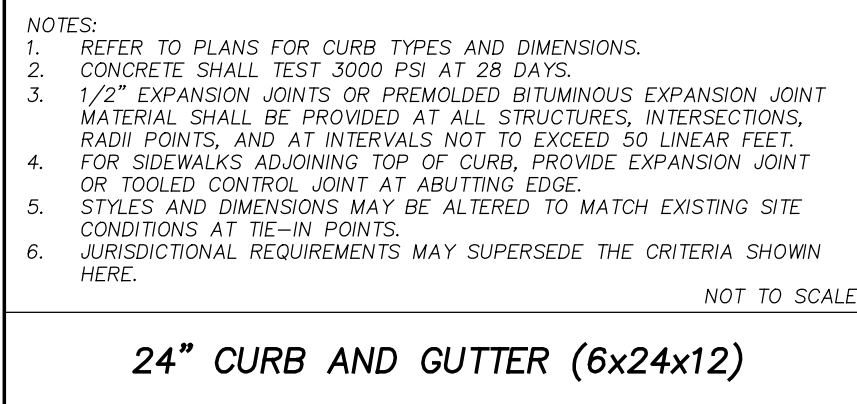
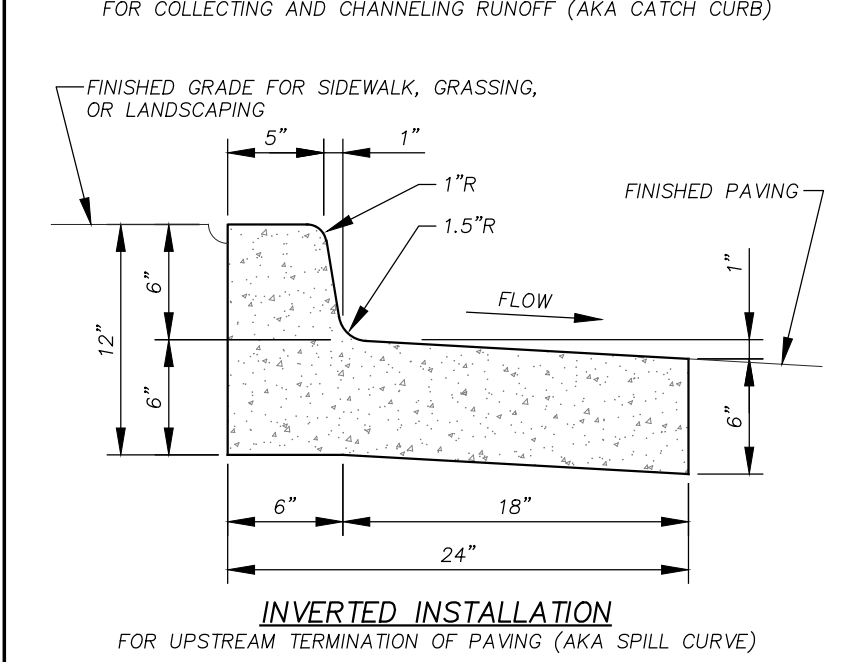
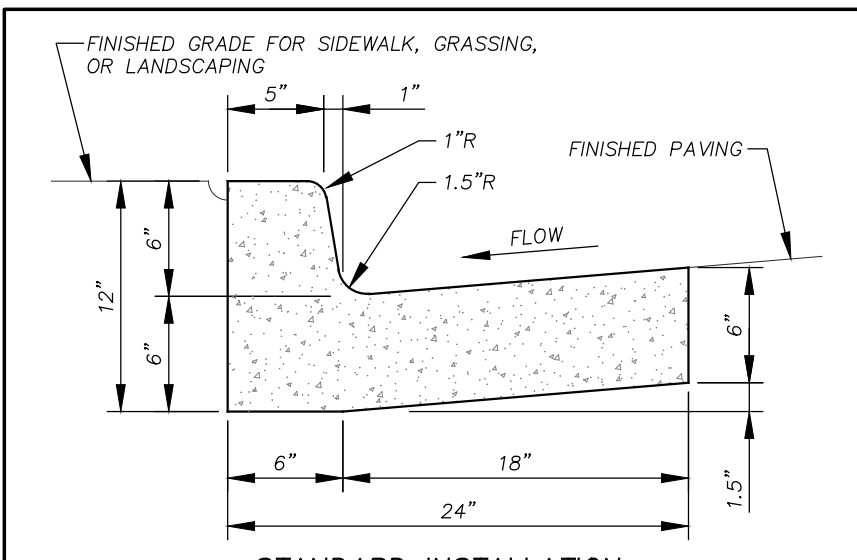
5. GAB IS REQUIRED UNDER ALL CURB AND GUTTER IN DECLARATION LANES.

6. JURISDICTIONAL REQUIREMENTS MAY SUPERSEDE THE CRITERIA SHOWN HERE.



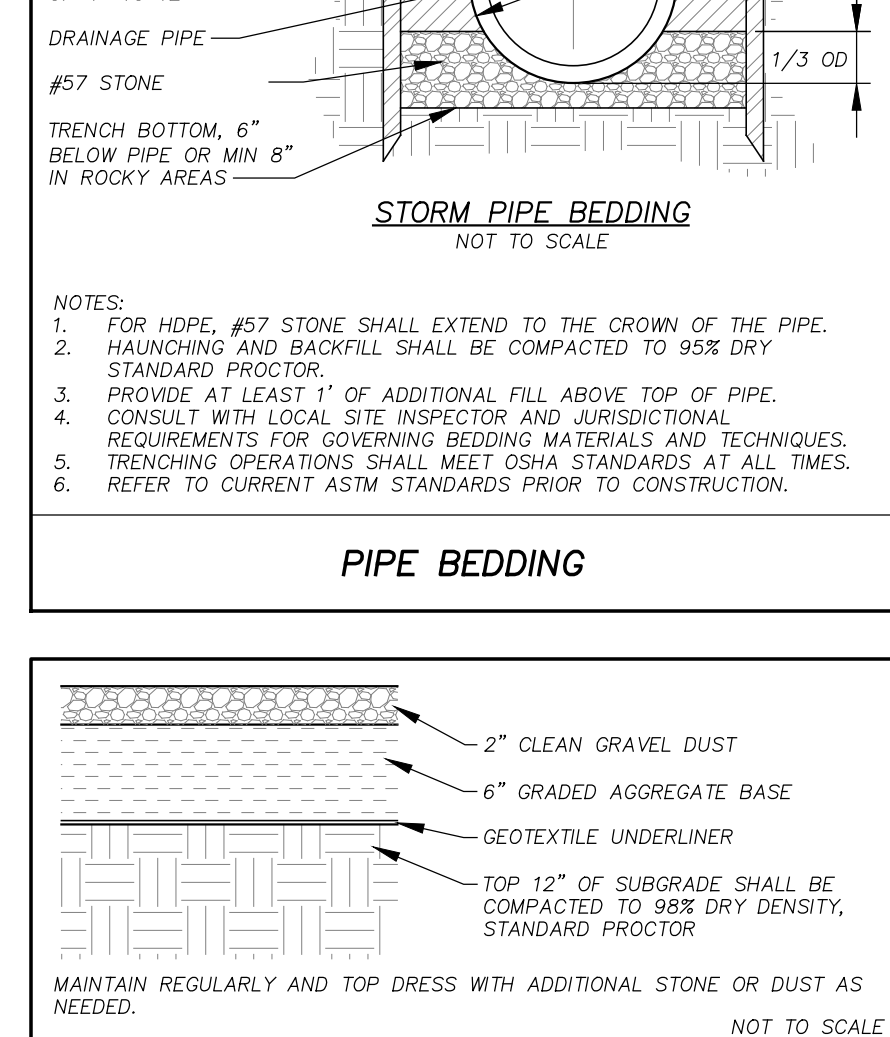
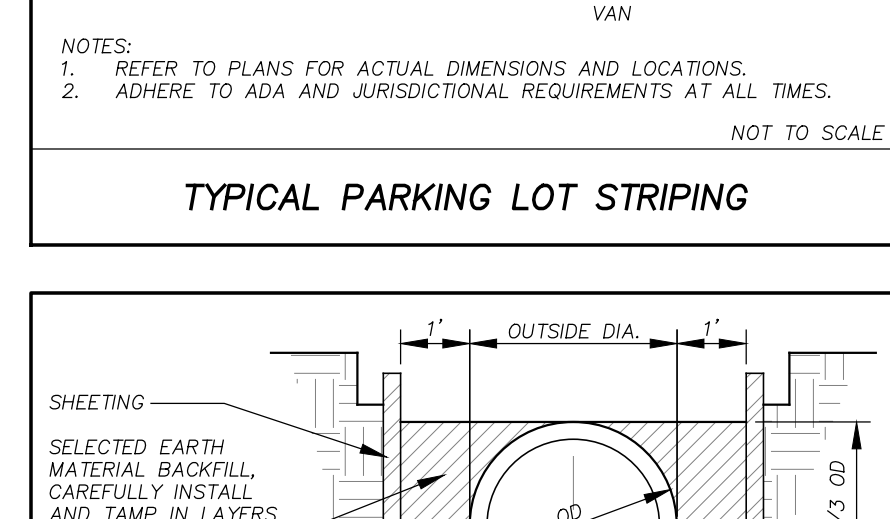
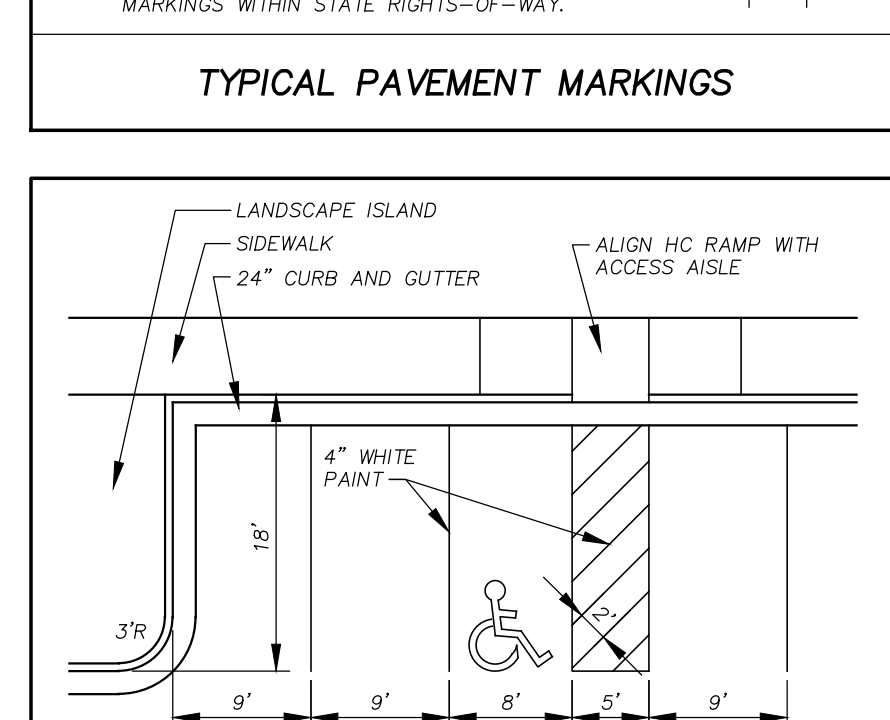
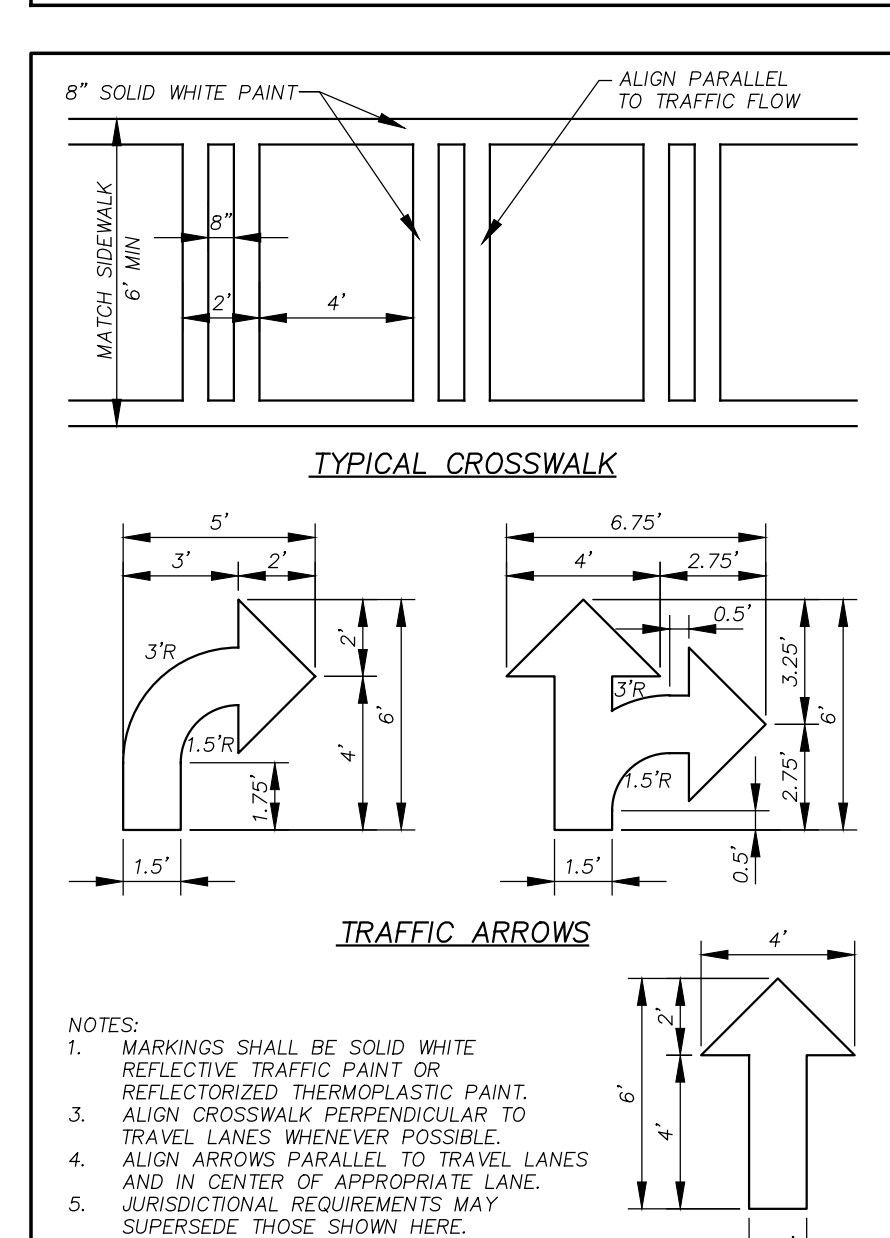
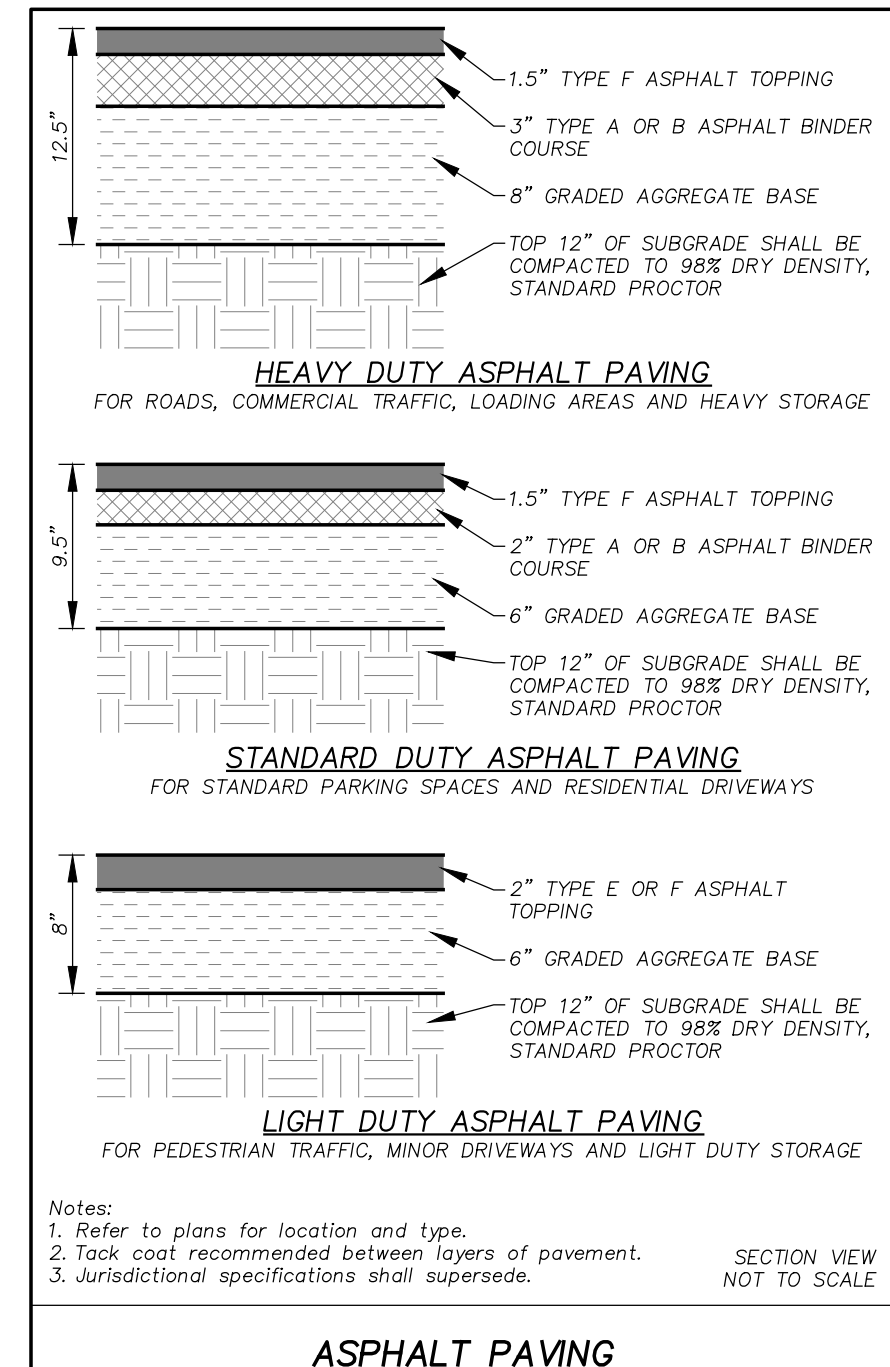
STREET DETAILS
VERTICAL CURB AND GUTTER
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

Scale: N.T.S. Date: 12-20-04 DWG NO. T-24 REVISION: 06-09-15



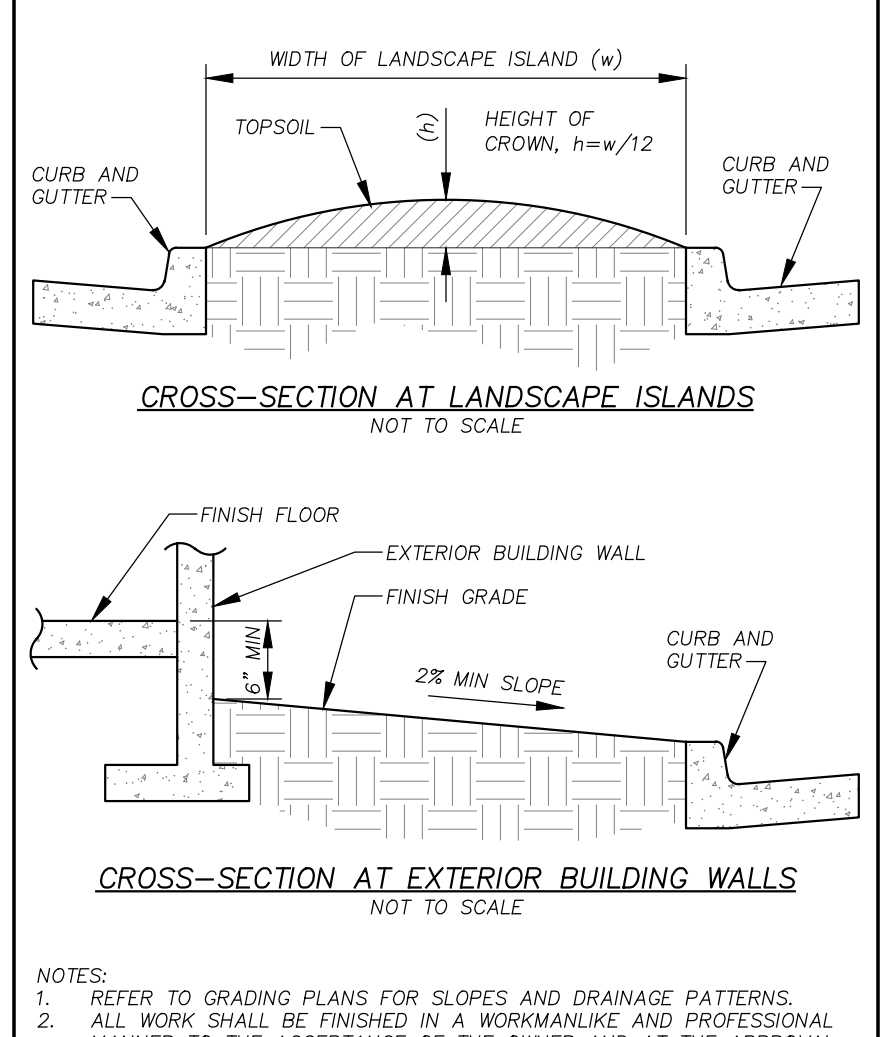
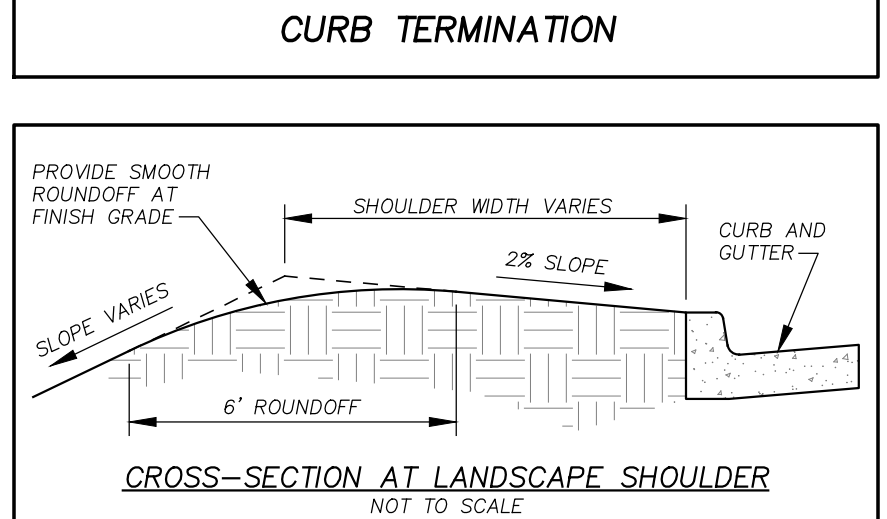
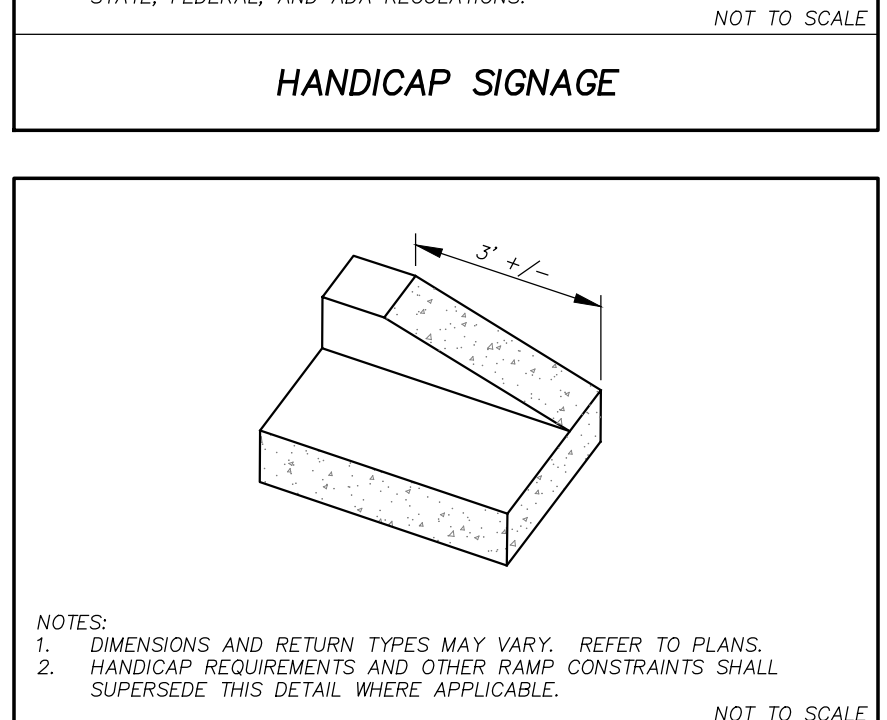
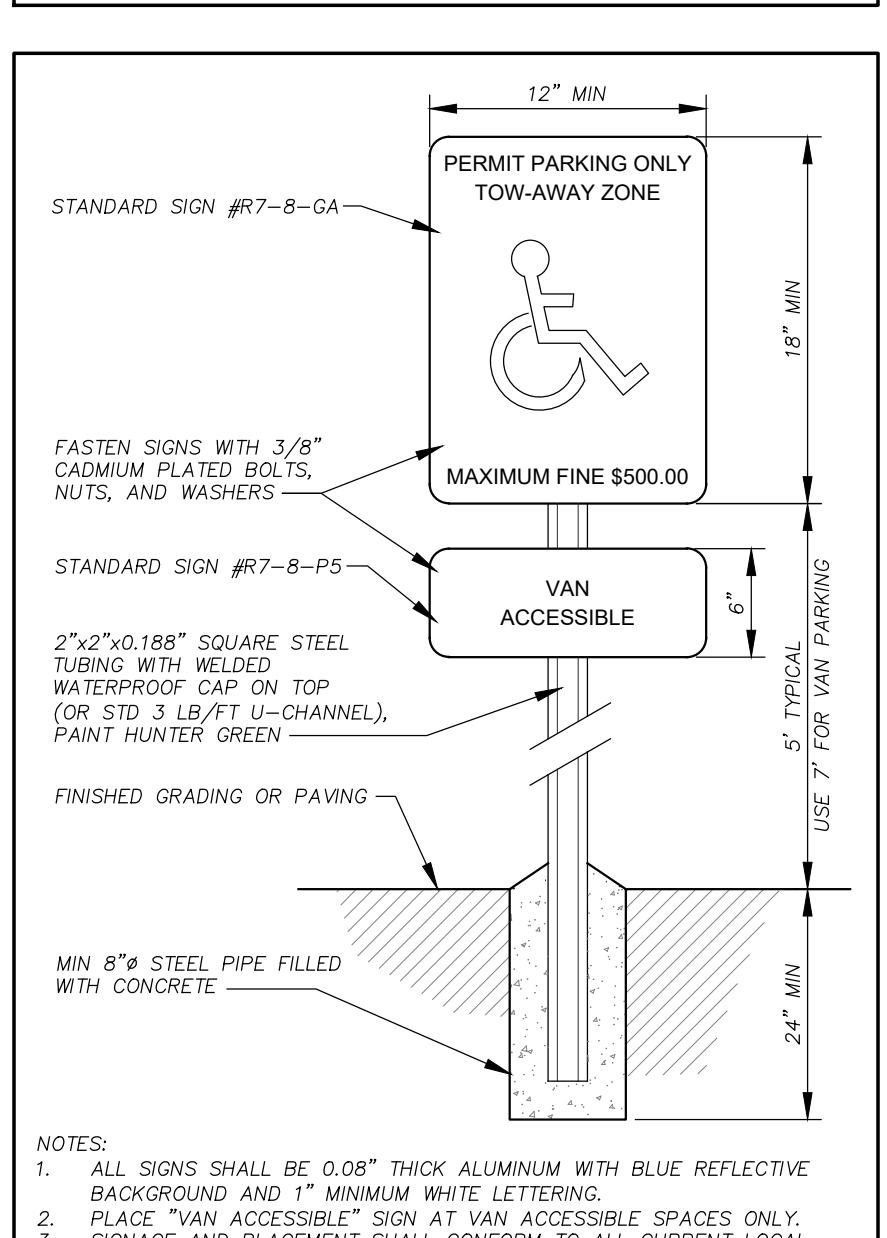
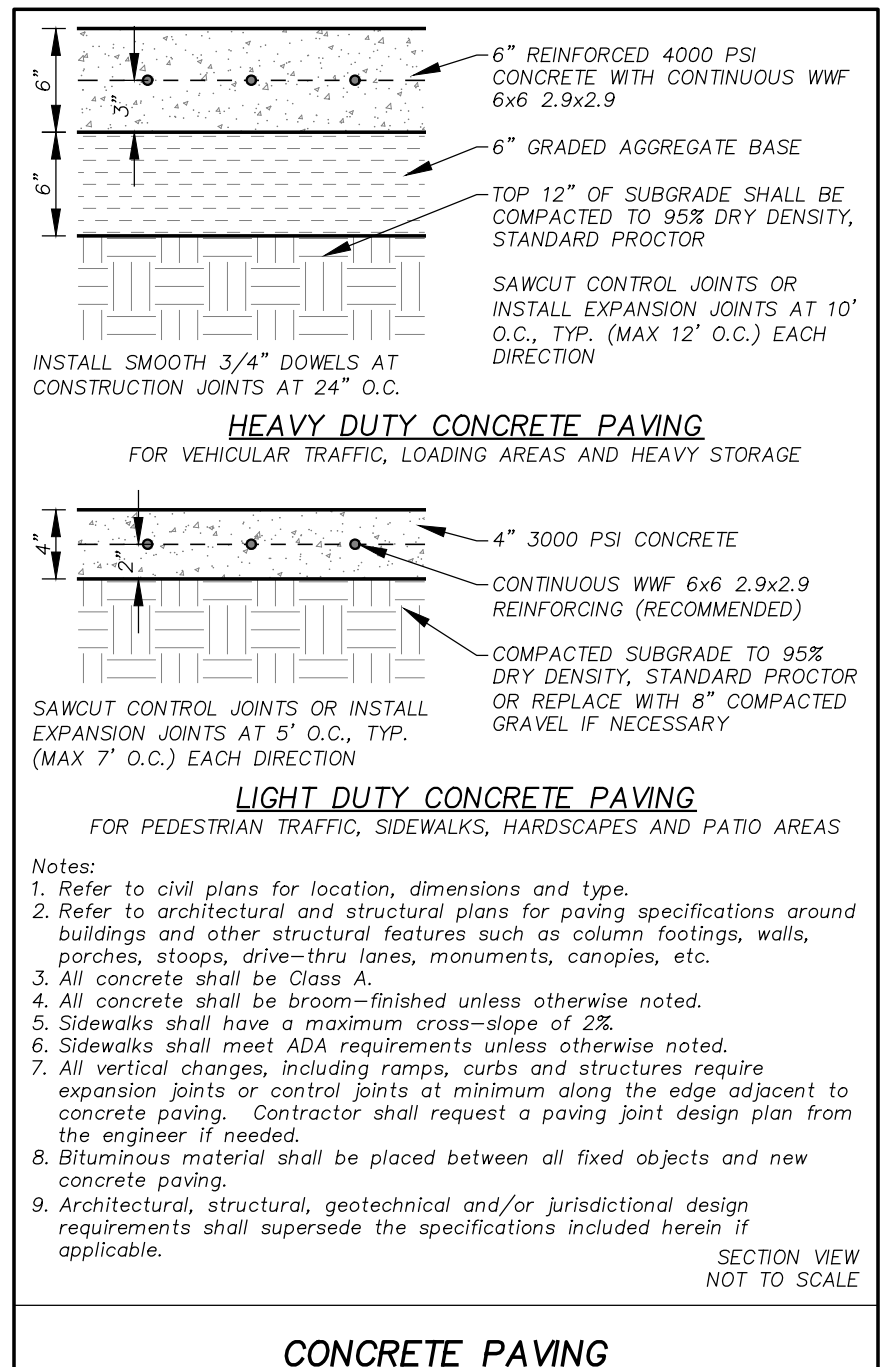
STREET DETAILS
SIGHT DISTANCE REQUIREMENTS FOR DRIVEWAYS AND NEW COUNTY STREETS
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

Scale: N.T.S. Date: 12-20-04 DWG NO. T-32 REVISION: 06-09-15



STREET DETAILS
STORM PIPE BEDDING
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

Scale: N.T.S. Date: 12-20-04 DWG NO. T-18 REVISION: 07-18-22



STREET DETAILS
CROSS-SECTION AT LANDSCAPE ISLANDS
UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

Scale: N.T.S. Date: 12-20-04 DWG NO. T-18 REVISION: 07-18-22

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4/20/26 DESIGN DEVELOPMENT SET FOR OWNER'S REVIEW
6/11/26 LUP SUBMITTAL TO JACKSON COUNTY

DATE
1
2

ISSUE

DESCRIPTION

1. DESIGN DEVELOPMENT SET FOR OWNER'S REVIEW
2. LUP SUBMITTAL TO JACKSON COUNTY

North Oconee Heritage Park
SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION
O'CONNOR, GEORGIA
4800 W. WATKINSVILLE RD.
WATKINSVILLE, GA 30677
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY

24-HR CONTACT: BARRY VICKERY, (706) 286-6353

North Oconee Heritage Park
SITE DEVELOPMENT PLANS

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4800 W. WATKINSVILLE RD.
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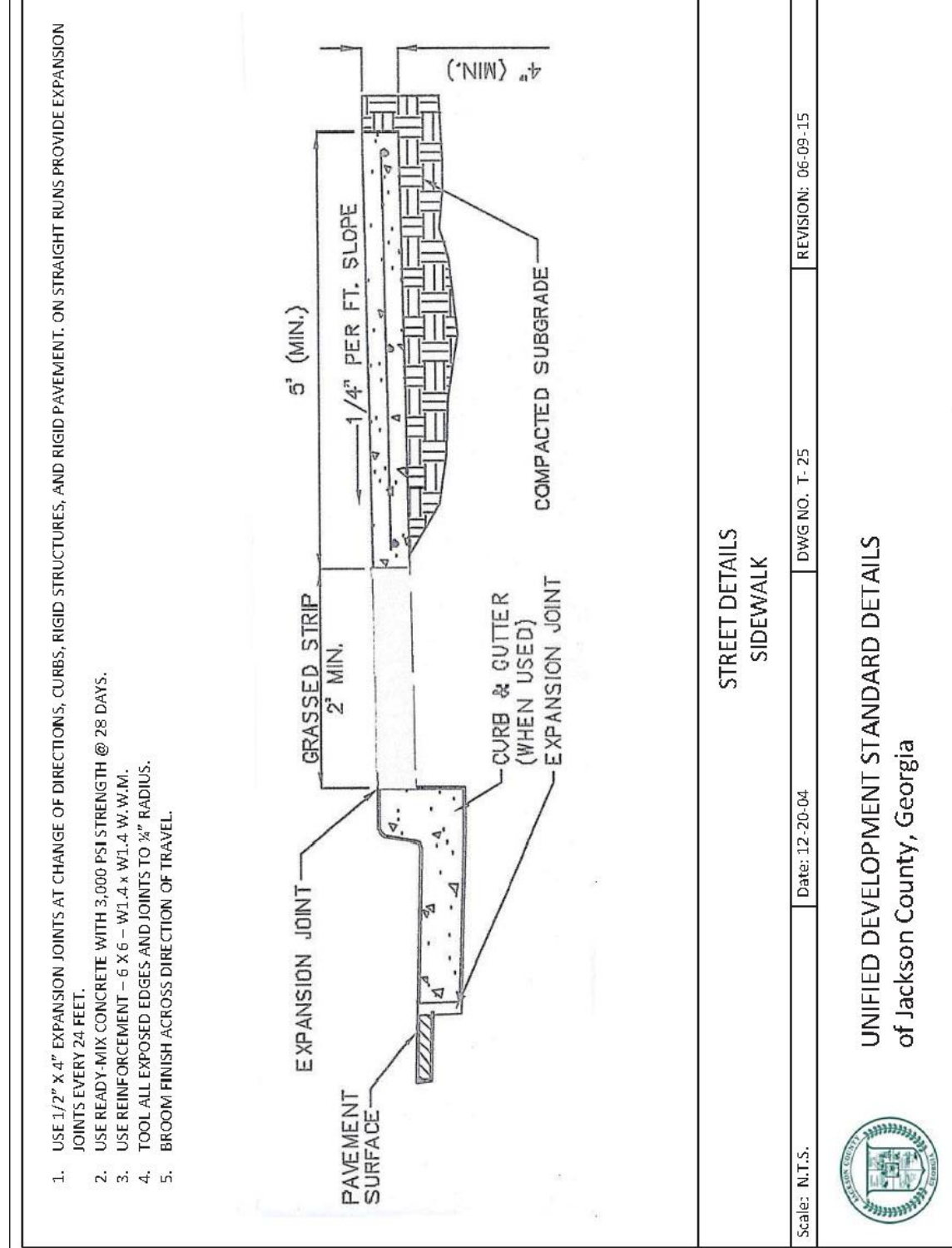
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JKS002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: C14

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OF 18 SHEETS

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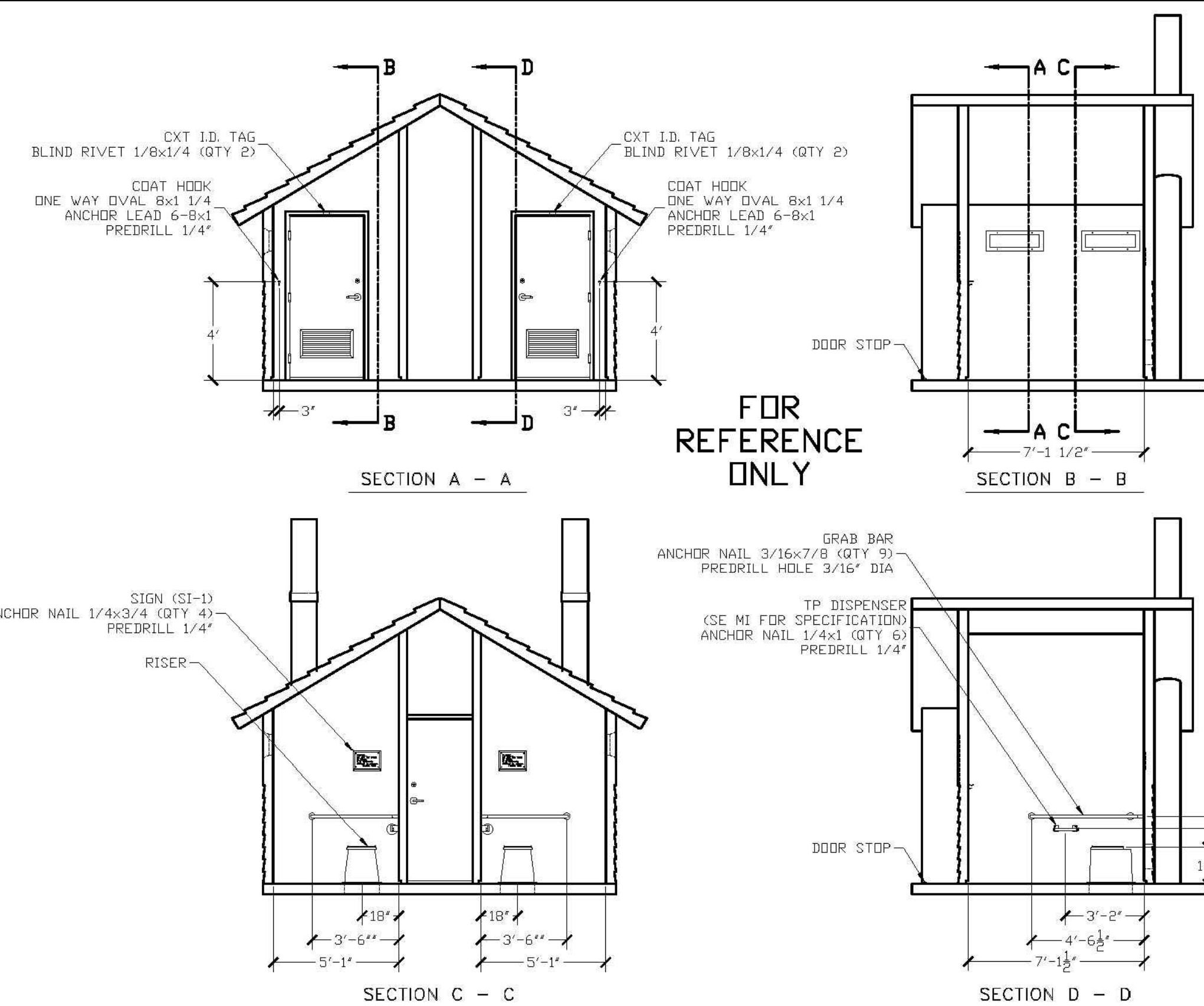
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Scale: N.T.S.	Date: 12-20-04	DWG NO. T-26	REVISION: 06-09-15
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 UNIFIED DEVELOPMENT STANDARD DETAILS
 of Jackson County, Georgia

- [illegible]

STREET DETAILS
HANDICAP PAD

UNIFIED DEVELOPMENT STANDARD DETAILS
of Jackson County, Georgia

CIT Incorporated			

EMERGENCY MATERIALS				
ITEM	QTY	ITEM	QTY	
RISER	2	ONE WAY CHAIN 1/2" 1/4"	1	
CRAB BAR	2	ANCHOR LEAD 5'-8 1/2'	1	
TP DISPENSER	1	BLIND RIVET 1/2" 1/4"	4	
TOILET PAPER ROLL	4-6			
DOOR HOOK	2			
DOOR STOP	2			
9-1	2			
BLIND RIVET 1/2" 1/4"	4			
EXT ID. TAG	2			
ANCHOR NAIL 1/2" 1/4"	12			
ANCHOR NAIL 1/2" 1/4"	8			
ANCHOR NAIL 3/16" 7/8"	15			

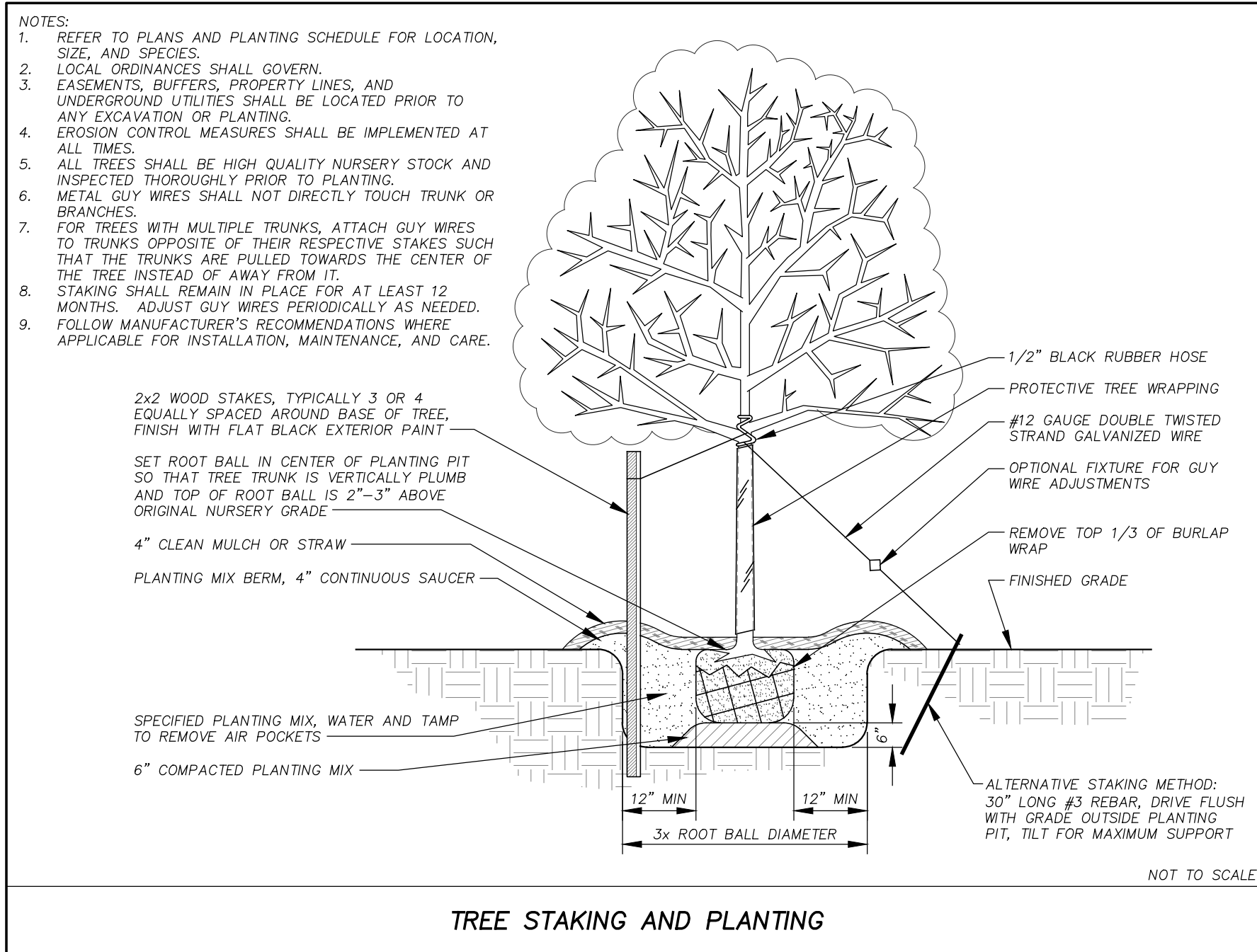
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INTERIOR ELEVATIONS		
DWG. NO. DCWC-03	SHEET 1	REV.

NOTICE

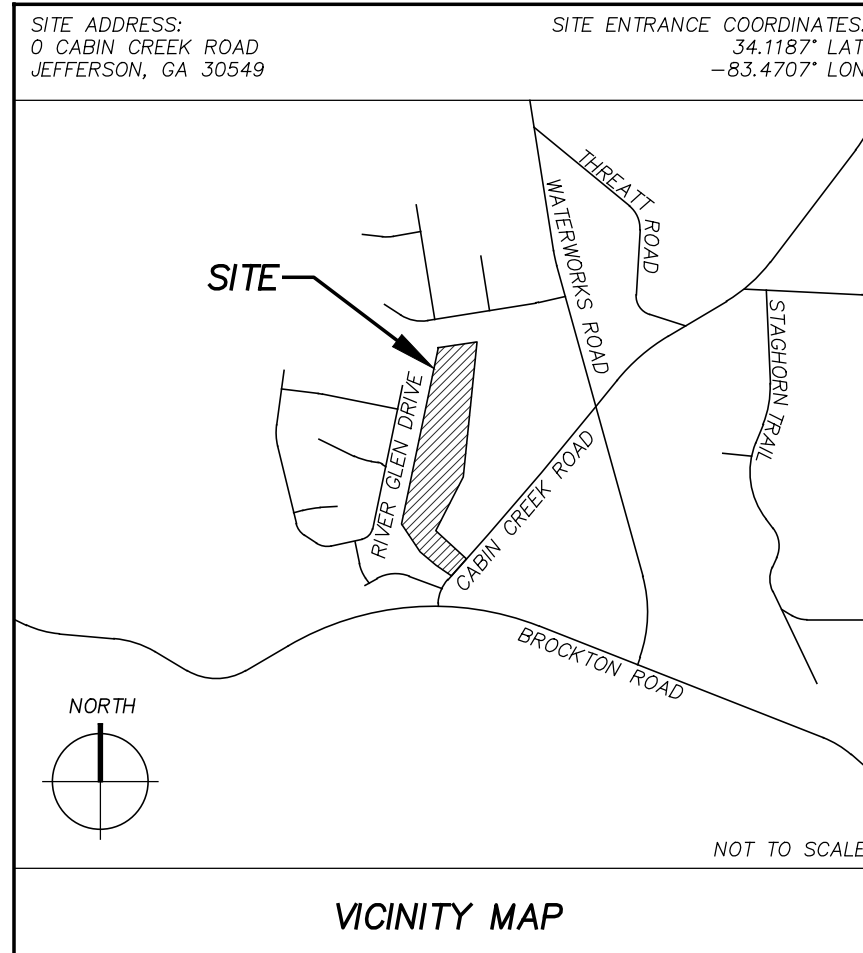
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TREE PLAN SUMMARY			
	CANOPY AREA IN SF	CANOPY AREA PERCENTAGE	
EXISTING TREE CANOPY	1,014,770	100%	
EXISTING TREE CANOPY RETAINED	516,329	51%	
TREE CANOPY REQUIRED	202,054	20%	
TREE CANOPY PROPOSED	667,929	66%	
TREE CANOPY DEFICIT	-453,822		
TOTAL CANOPY AREA = 667,929 SF			
TOTAL SITE AREA = 23.25 ACRES = 1,012,770 SF			
PERCENTAGE OF TOTAL SITE COVERED BY CANOPY = 66%			

TREE CANOPY CALCULATIONS			
QTY	BOTANICAL NAME	CANOPY AREA IN SF	TOTAL CANOPY AREA IN SF
8	NYSSA SYLVATICA	1,600	12,800
4	CERIS CANADENSIS	900	3,600
18	JUNIPERUS VIRGINIANA	1,600	28,800
7	CRYPTOMERIA JAPONICA	1,600	11,200
19	ZELKOVA SERRATA	1,600	30,400
3	ILEX X NELLIE R. STEVENS	900	2,700
1	BETULA NUDRA	1,600	1,600
14	ACER RUBRUM	1,600	22,400
3	AMELANCHIER ALBOEA	900	2,700
2	MAGNOLIA VIRGINIANA	900	1,800
10	MAGNOLIA GRANDIFLORA	1,600	16,000
9	ULMUS ALATA	1,600	14,400
2	QUERCUS PHELLOS	1,600	3,200
PROPOSED CANOPY		151,600	
EXISTING CANOPY		516,329	
TOTAL CANOPY AREA		667,929 SF	
TOTAL SITE AREA = 23.25 ACRES = 1,012,770 SF			
PERCENTAGE OF TOTAL SITE COVERED BY CANOPY = 66%			

PLANTING SCHEDULE						
TREES	QTY	CODE	COMMON NAME	BOTANICAL NAME	MIN SIZE	SPACING
8	8	BG	BLACK GUM	NYSSA SYLVATICA	3" DIA	AS SHOWN
4	4	ER	EASTER REDBUD	CERIS CANADENSIS	2" DIA	AS SHOWN
18	18	ERC	EASTER PEDECEAR	JUNIPERUS VIRGINIANA	8-10' HT	AS SHOWN
7	7	JC	JAPANESE CRYPTOMERIA	CRYPTOMERIA JAPONICA	8-10' HT	AS SHOWN
19	19	JZ	JAPANESE ZELKOVA	ZELKOVA SERRATA	2.5" DIA	AS SHOWN
3	3	NRS	NELLIE R. STEVENS	ILEX X NELLIE R. STEVENS	6-8" HT	AS SHOWN
1	1	RB	RIVER BIRCH	BETULA NUDRA	8-10' HT	AS SHOWN
14	14	RM	RED MAPLE	ACER RUBRUM	3" DIA	AS SHOWN
3	3	SB	SERVICEBERRY	AMELANCHIER ALBOEA	6-8" HT	AS SHOWN
2	2	SM	SWEETBAY MAGNOLIA	MAGNOLIA VIRGINIANA	6-8" HT	AS SHOWN
10	10	SM	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	8-10' HT	AS SHOWN
9	9	WE	WINGED ELM	ULMUS ALATA	3" DIA	AS SHOWN
2	2	WO	WILLOW DAK	QUERCUS PHELLOS	3" DIA	AS SHOWN
100	100	TOTAL	TOTAL TREES			100%



JACKSON COUNTY INSPECTIONS

Notify Jackson County Inspector at least 24 hours before beginning any phase of construction. (706) 367-6335

UTILITY CONSTRUCTION NOTE

The installation, relocation or removal of any utility lines or structures must be performed at the supervision and direction of the appropriate utility department. Instructions and requirements issued by the utility departments shall supersede those shown on these plans if they exceed the recommendations included herein.

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6/11/26	LUP SUBMITTAL TO JACKSON COUNTY

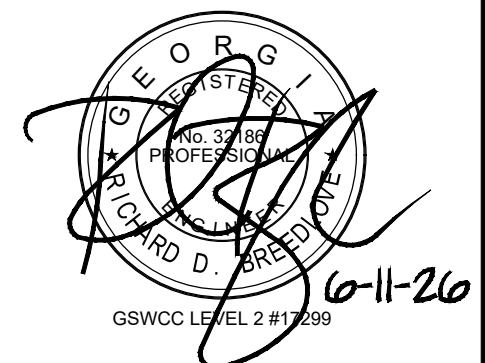
North Oconee Heritage Park
SITE DEVELOPMENT PLANS

SITE INFORMATION:
O CABIN CREEK ROAD
JEFFERSON, GA 30549
UNINCORPORATED JACKSON COUNTY
G.M.D. 253
A-2 ZONING

24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JK5002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE: **TREE PROTECTION/REPLACEMENT PLAN (SOUTH)**
SHEET NUMBER: C17





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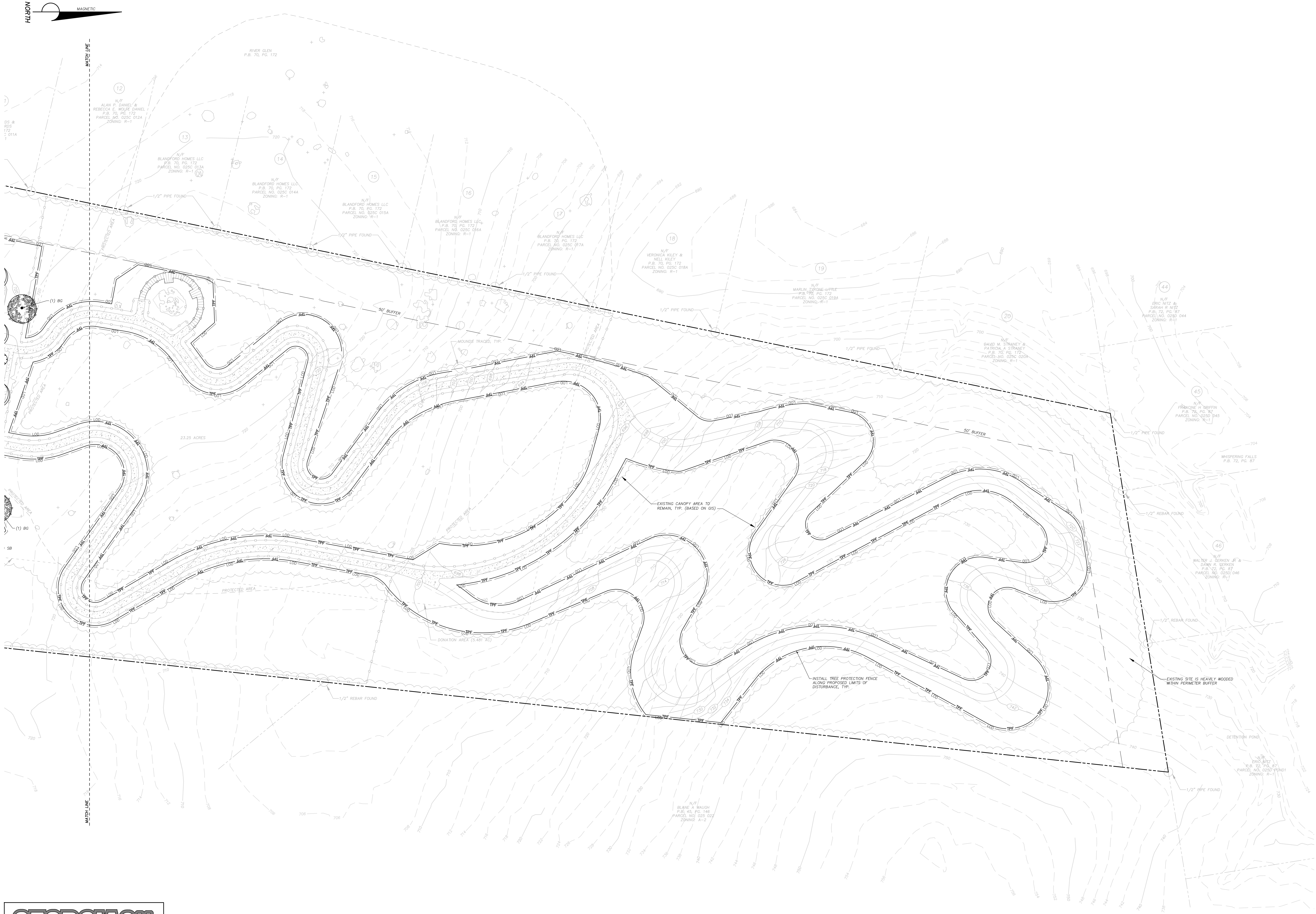
North Oconee Heritage Park
SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION:
JACKSON COUNTY, GEORGIA
4800 JEFFERSON, G.A. 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY

24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JKS002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE: **TREE PROTECTION/ REPLACEMENT PLAN (NORTH)**

SHEET NUMBER: **C18**
OF 18 SHEETS



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