

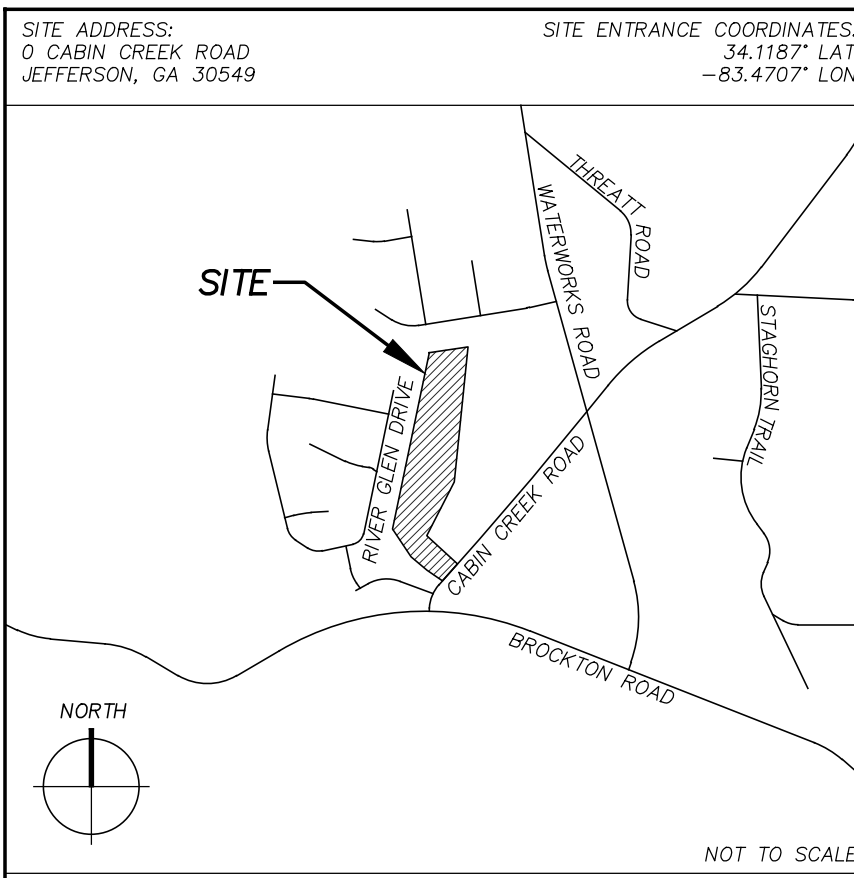


EXISTING FEATURES DISCLAIMER

The existing utilities, topography and other site features shown on these drawings may be comprised of field surveys by others, local GIS data, previous design plans and other sources. The engineer assumes no responsibility for the completeness or accuracy of the existing conditions. It is the responsibility of the contractor to locate and verify all existing utilities and features prior to construction to ensure proper horizontal and vertical connections and positive drainage as needed. The contractor shall notify the owner and engineer immediately if any discrepancies occur.

BUILDING UTILITIES DISCLAIMER

Utility connections to, near and throughout the buildings and other structures are shown on these civil drawings for reference and permitting purposes only and should NOT be used for construction. Instead, the contractor shall refer to the permitted architectural and MEP drawings for the size, material, quantity, location, elevation and installation specifications of all utility connections to the buildings and other structures. These include, but are not limited to domestic water, fire protection, irrigation, sanitary sewer, gas, power, communication and stormwater drainage as well as any associated appurtenances such as meters, valves, clean-outs, electrical grounding and access panels. It is very common for the civil plans to be completed and permitted while the building designs are still in their preliminary phases. Thus, accurate utility information is not available at the time of the final site design. It is the responsibility of the contractor to verify the utility designs prior to installation and notify the owner and designers if a conflict occurs.



VICINITY MAP

PROJECT NOTES

SITE INFORMATION

- The subject property is located in Georgia Militia District 253 of Unincorporated Jackson County, Georgia.
- The total site area is 23.25 acres.
- The site is currently zoned A-2 for agricultural use.
- The jurisdictional site restrictions for A-2 zoning are:
Front building setback = 50 feet
Side building setback = 40 feet
Rear building setback = 40 feet
Zoning buffer = 50 feet
Landscape strip = 10 feet
Maximum building coverage = 25%
Maximum building height = 35 feet
- The existing boundary survey information is provided by Carlan Land Surveyors, dated 2/15/71 and revised on 10/12/21.
- The existing topography is based on GIS data and set to mean sea level.
- No portion of this property is located within a special flood hazard zone per FIRM Panel 13157C0276C, dated 12/17/2010.
- There are no surveyed wetlands or buffered state waters onsite.

UTILITY INFORMATION

- Fire protection and potable water services are not available near this site and shall be provided by an onsite private water system to be designed by others.
- Public sanitary sewer service is not available near this site and shall be provided by an onsite private sewer management system to be designed by others.
- Stormwater management shall be provided onsite and managed by the property owner.

SITE CALCULATIONS

SITE AREA ZONED:	23.25 ACRES
EXISTING USE OF PROPERTY:	A2, AGRICULTURAL RURAL FARM DISTRICT
PROPOSED USE OF PROPERTY:	VACANT PARKS, RECREATION AND CONSERVATION AREA
PROPOSED BUILDINGS DENSITY:	2,515 SF
PROPOSED PARKING:	108 SF/ACRE
STANDARD SPACES:	47
BUS SPACES:	7
HANDICAP ACCESSIBLE SPACES:	3 (2 VAN)
TOTAL SPACES PROPOSED:	57
GROUND COVERAGE BY BUILDINGS:	2,910 SF (0.33%), 0.06 ACRES
WETLANDS COVERAGE:	72,181 SF (78%), 1.69 ACRES
TOTAL PROPOSED LOT COVERAGE:	75,096 SF (78%), 1.74 ACRES

PARKING AND LOADING CALCULATIONS

PROPOSED PARKING:	
STANDARD SPACES:	47
BUS SPACES:	7
COMPACT SPACES:	0
HANDICAP ACCESSIBLE SPACES:	3 (2 VAN)
TOTAL SPACES PROPOSED:	57
TOTAL BUILDING AREA PROPOSED:	2,600 SF
OVERALL PARKING RATIO PROPOSED:	21.9/1,000 SF

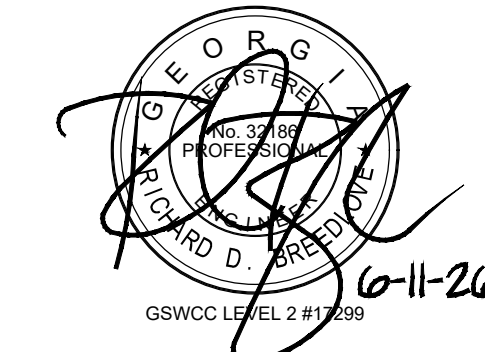
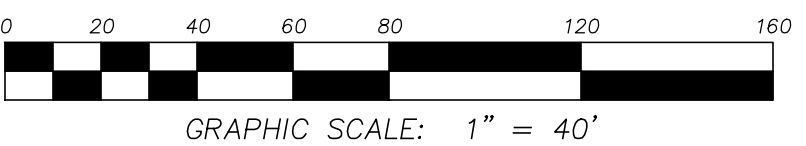
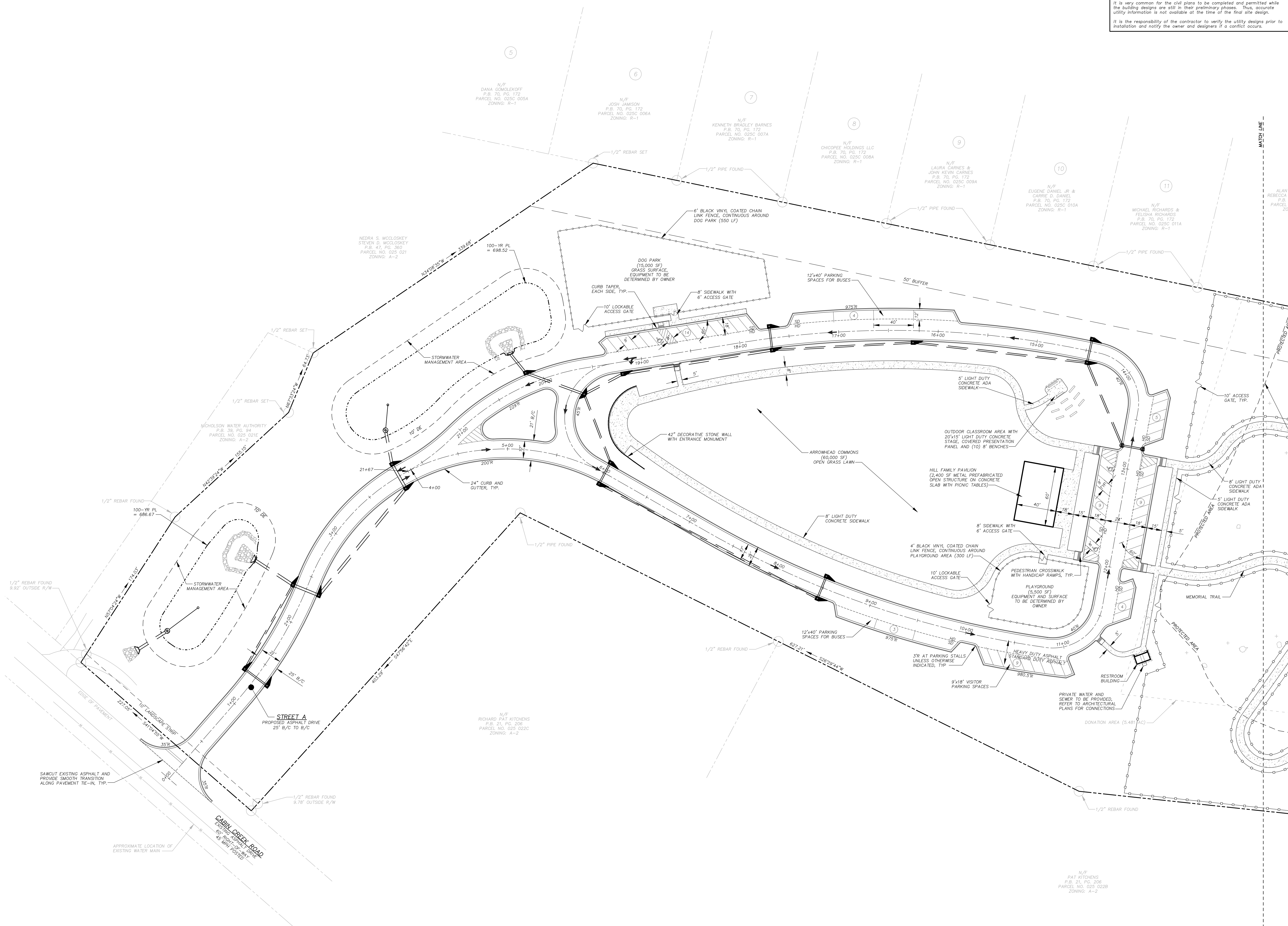
JACKSON COUNTY INSPECTIONS

Notify Jackson County Inspector at least 24 hours before beginning any phase of construction. (706) 367-6335

UTILITY CONSTRUCTION NOTE

The installation, relocation or removal of any utility lines or structures must be performed at the supervision and discretion of the appropriate utility department. Instructions and requirements issued by the utility departments shall supersede those shown on these plans if they exceed the recommendations included herein.

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North Oconee Heritage Park

SITE DEVELOPMENT PLANS

DEVELOPER INFORMATION:
JACKSON COUNTY, GEORGIA
4400 W. JACKSON COUNTY ROAD
JEFFERSON, GA 30549
PHONE: (706) 286-6353
CONTACT PERSON: BARRY VICKERY
24-HR CONTACT: BARRY VICKERY, (706) 286-6353

PROJECT NUMBER: JK5002
DATE: 6/11/26
ISSUE NUMBER: 2
CHECKED BY: RDB
SHEET TITLE:

**SITE AND
UTILITY PLAN
(SOUTH)**

SHEET NUMBER:

C1