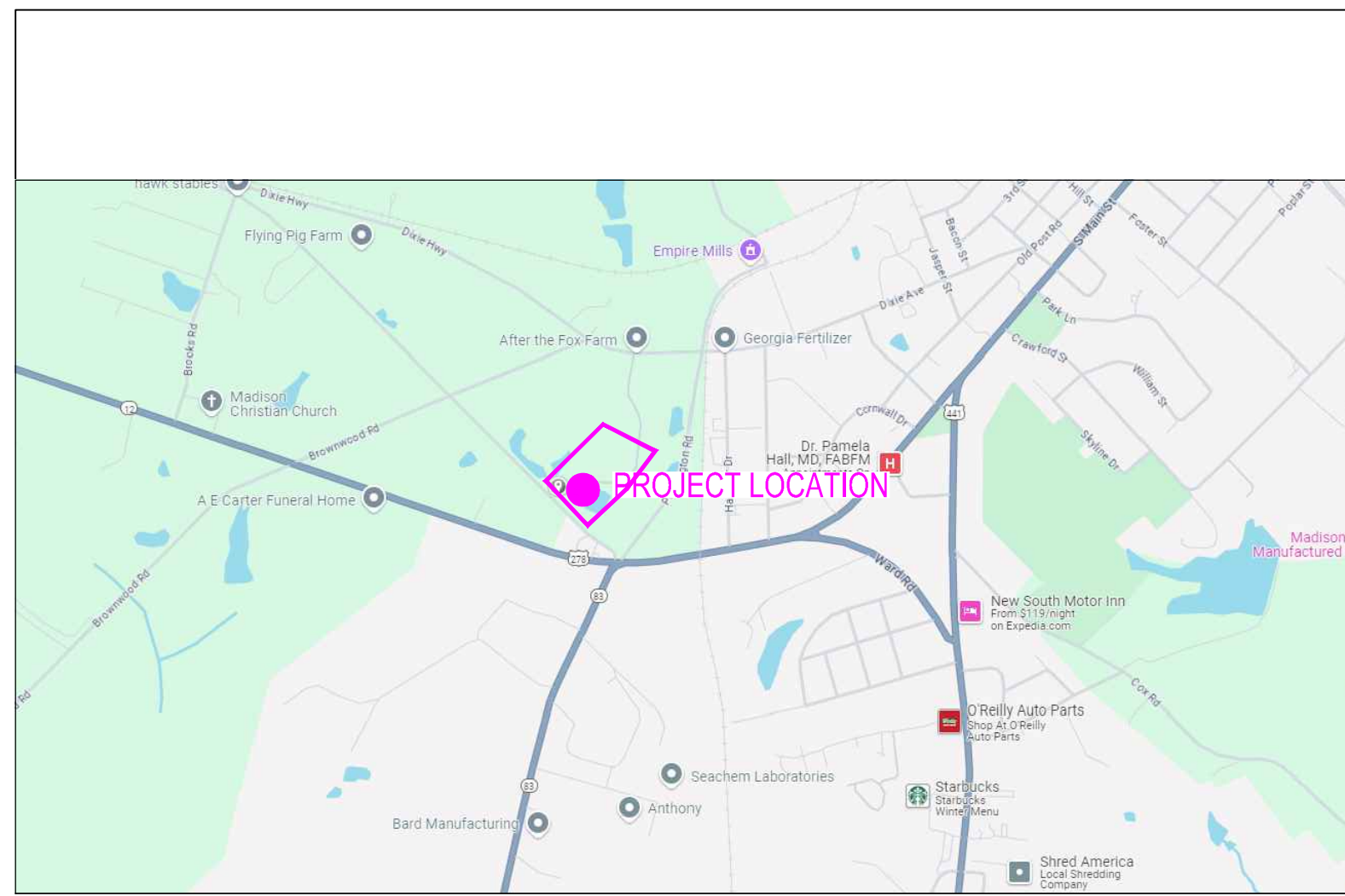


SITE DEVELOPMENT PLANS FOR PARKING ADDITION & COURTYARD RENOVATION

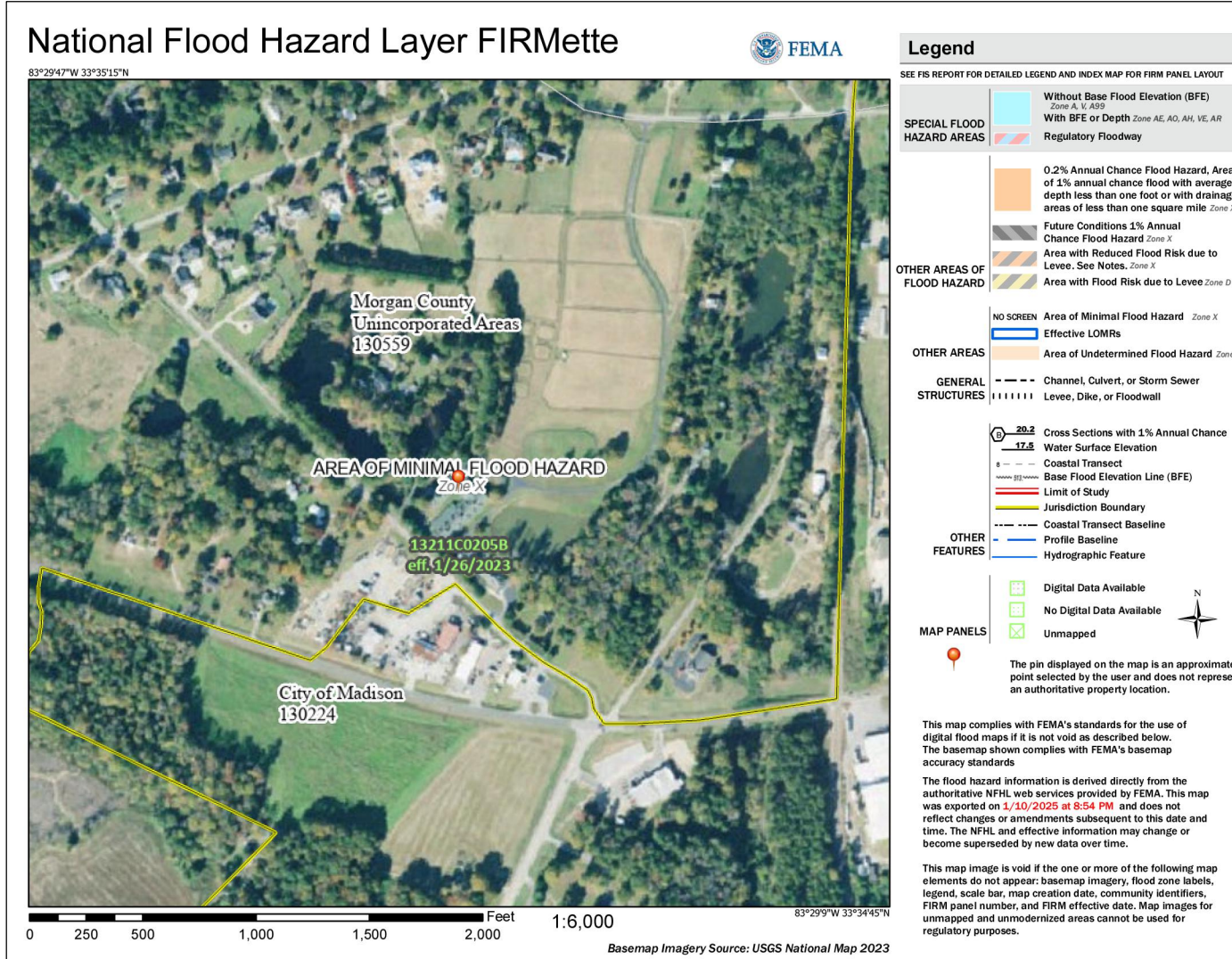
036 039 B
1091 CONFEDERATE RD
MADISON, GA 30650
MORGAN COUNTY
ZONING - R1

SHEET INDEX

Sheet Number	Sheet Title
CV-1.0	COVER SHEET
CV-1.1	GENERAL NOTES
TS-1.0	SURVEY
C-1.0	DEMOLITION AND REMOVAL PLAN
C-2.0	LAYOUT & STAKING PLAN
C-3.0	GRADING PLAN
C-4.0	SWM PLAN
C-4.1	SWM DETAILS
C-4.2	SWM PROFILES
C-5.0	UTILITY PLAN
C-6.0	ESPC NOTES 1
C-6.1	ESPC NOTES 2
C-6.2	ES&PC PLAN
C-6.3	ESPC DETAILS 1
C-6.4	ESPC DETAILS 2
C-7.0	SITE DETAILS 1
C-7.1	SITE DETAILS 2

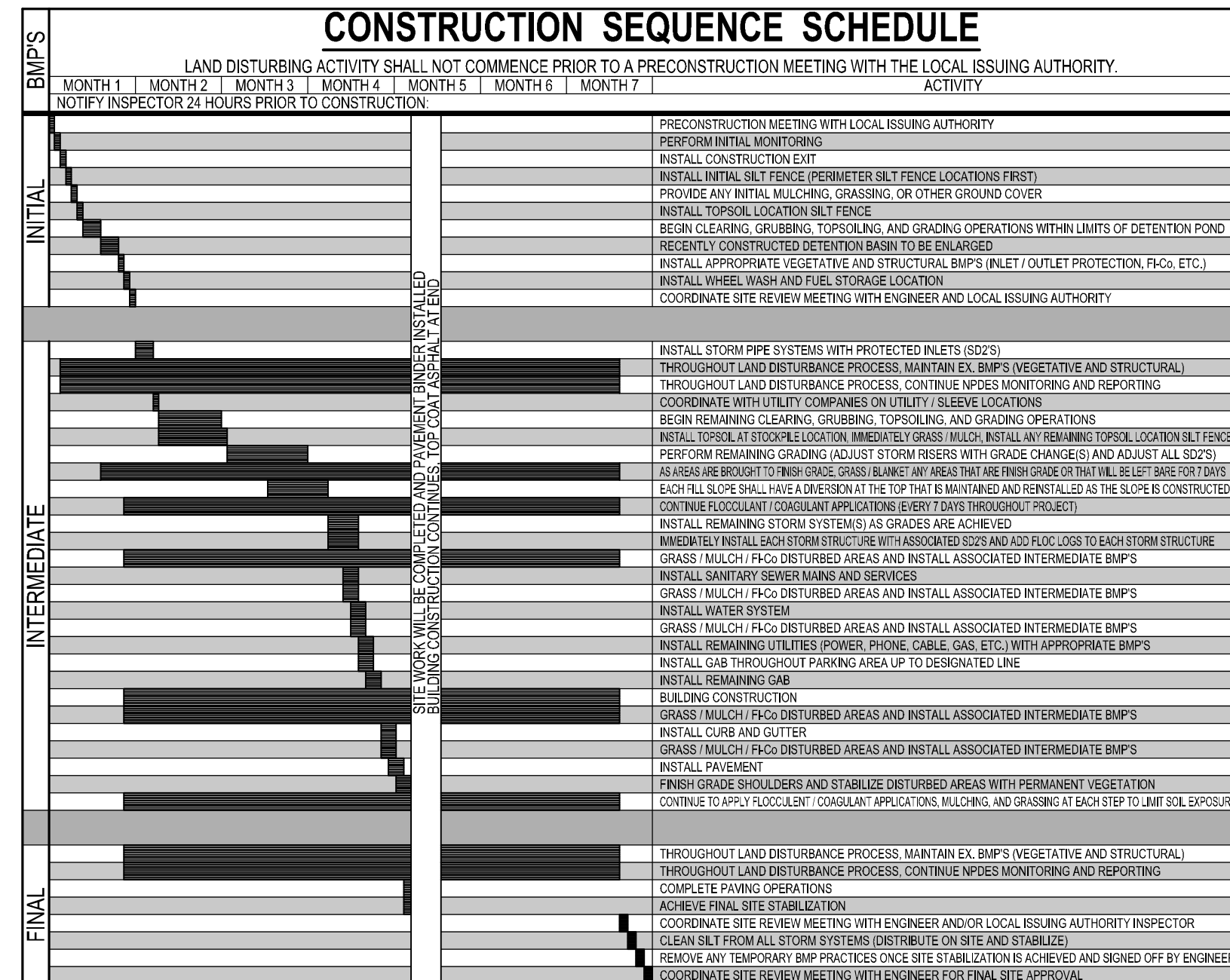


VICINITY MAP NOT TO SCALE
GPS COORDINATES
N 33°34'58.07" W -83°29'28.84"
N 33.582798 W -83.491346



FLOOD MAP NOT TO SCALE

STANDARD ABBREVIATIONS		LEGEND	
APPROX = APPROXIMATE	DM = DIAMETER	OM = OVER HEAD POWER	SS = SANITARY SEWER
BLDG = BUILDING	DS = DOWNSPOUT	PB = PLAT BOOK	SSMH = SANITARY SEWER MANHOLE
BM = BENCH MARK	DWV = DOUBLE WING DRAIN	PF = PLAT PAGE	SWDC = SINGLE WING CATCH BASIN
G&G = CURBS AND GUTTER	ES&PC = EROSION, SEDIMENTATION AND POLLUTION CONTROL	PL = PROPERTY LINE	TC = TRAFFIC CONTROL BOX
CI = CURB INLET	FDC = FIRE DEPARTMENT CONNECTION	POB = POINT OF BEGINNING	TMP = TAX MAP PARCEL
CL = CURB LINE	FFC = FIRE DEPARTMENT CONNECTION	PP = POWER POLE	W = WATER
CMF = CORRUGATED METAL PIPE	FF = FINISH FLOOR ELEVATION	PVC = POLYVINYL CHLORIDE PIPE	WM = WATER METER
CO = CLEAN OUT	FM = FIRE HYDRANT	RF = REBAR FOUND	WV = WATER VALVE
CPP = CORRUGATED PLASTIC PIPE	FO = FIBER OPTIC	RCP = REINFORCED CONCRETE PIPE	WV = WATER VALVE
CTE = CROWN TOP FOUND	FT = FEET	RW = RIGHT OF WAY	
DB = DEED BOOK	GV = GRATE INLET	SNH = STORM MANHOLE	
		NTS = NOT TO SCALE	



SITE INFORMATION	
AN EXISTING HORSE STABLE AND ARENA FACILITY IS BEING RENOVATED INTO A CHURCH FACILITY. ADDITIONAL PARKING AND COURTYARD RENOVATIONS ARE BEING PROPOSED IN ADDITION TO THAT PROJECT.	
ZONING (PER LOCAL JURISDICTION)	R-1 RESIDENTIAL
LOCAL JURISDICTION	MORGAN COUNTY
PROPERTY AREA	24.42 AC
DISTURBED AREA	0.93 AC
MINIMUM LOT SIZE	1.5 AC
MINIMUM LOT WIDTH	300'
MINIMUM FRONT SETBACK	30'
MINIMUM SIDE SETBACK	15'
MINIMUM REAR SETBACK	40'
MINIMUM OPEN SPACE	N/A
MAXIMUM IMPERVIOUS	PROPOSED IMPERVIOUS = 14%
MISCELLANEOUS INFORMATION	
SIGNAGE	SIGNAGE SHALL BE HANDLED UNDER A SEPARATE PERMIT
SITE LIGHTING	SITE LIGHTING IS NOT A PART OF THE CIVIL PLANS (SITE WORK CONSTRUCTION DRAWINGS), SIGHT LIGHTING PROVIDED BY OTHERS UNDER SEPARATE COVER
SOIL SERIES	C62- CECIL SANDY LOAM, 2% TO 6% SLOPES, MODERATELY ERODED C1D3- CECIL SANDY CLAY LOAM, 6% TO 15% SLOPES, SEVERELY ERODED L1D3- LLOYD CLAY LOAM, 6% TO 15% SLOPES, SEVERELY ERODED W- WATER
FLOOD PLAIN	THERE IS NO FLOODPLAIN ON THIS PROPERTY AS PER FIRM PANEL 1321-C012025 DATED 01/26/2023. NO WORK IS BEING DONE WITHIN A FLOODPLAIN. THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.
STATE WATERS	THERE ARE STATE WATERS PRESENT ON THIS SITE. THERE ARE STATE WATERS PRESENT WITHIN 200' OF THIS SITE
HYDROLOGY	THERE ARE STREAM BUFFERS ON THIS PROPERTY
WETLANDS	THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE. THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLANDS INVENTORY MAPS HAVE BEEN CONSULTED AND, 2) THE APPROPRIATE PLAN SHEET DOES INDICATE WETLANDS AS SHOWN ON THE MAP, AND 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS APPROPRIATE FEDERAL WETLANDS ALTERATION (SECTION 404) PERMIT HAS BEEN OBTAINED. IF WETLANDS ARE IMPACTED BY THIS DEVELOPMENT, A CORPUS OF ENGINEERS PERMIT SHALL BE OBTAINED PRIOR TO DISTURBANCE. ONCE ATTAINED, A COPY OF THE WETLAND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES, UPON THE CORPUS OF ENGINEERS APPROVAL, A SEPARATE COPY OF THE PERMIT SHALL BE SUBMITTED TO THE LIA.

OWNER/DEVELOPER
COMPANY: MADISON METHODIST CHURCH INC.
ADDRESS: 1091 CONFEDERATE RD
MADISON, GA 30650
PHONE: (706) 521-0017
CONTACT: MATTHEW MITCHELL
EMAIL: MATTHEW@MADISONMNC.NET

CONTRACTOR
COMPANY: SUNBEL BUILDERS
ADDRESS: 10641 HIGHWAY 36
COWHATAN, GA 30014
CONTACT: MIKE MCCOREY JR.
PHONE: 770.786.3031
EMAIL: MCMCCOREY@SUNBELBUILDERS.COM

SURVEYOR
COMPANY: GEORGIA CIVIL INC.
ADDRESS: P.O. BOX 896 MADISON, GA 30650
PHONE: 706.342.1104
CONTACT: BRIAN SLATE
EMAIL: BSLATE@GEORGIA CIVIL.COM

SITE DESIGNER
COMPANY: GEORGIA CIVIL INC.
ADDRESS: P.O. BOX 896
MADISON, GA 30650
PHONE: 706.342.1104

JASON P. BROWN
LEVEL II CERTIFIED
DESIGN PROFESSIONAL
#53274 - EXP. 05.01.2026

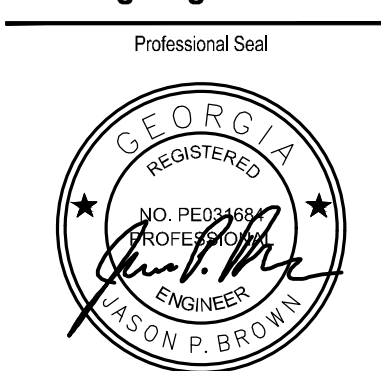
24-HOUR CONTACT
JASON BROWN
(770) 713-9972

GEORGIA811
www.Georgia811.com
Contact 811 before you dig

Utilities shown are for Contractor's convenience. Items are shown schematically and neither the design professional nor the owner assumes any responsibility for accuracy in their actual location. This plan may not show and/or may incorrectly show utilities located on site. Contractor shall be responsible to secure and use the services of a private utility locator firm during the entire course of work and shall pay for said services. Contractor shall locate utilities prior to any disturbance including field verifying location and depth of utilities that are to be served and protected. Contractor shall notify the design professional of any utility conflicts prior to installation of new utilities, grading, etc. The Contractor at their expense shall be responsible to report, relocate and/or indicate, as necessary, any utilities (sanitary, water, storm or gas, etc.) that are not shown on the plan. Contractor shall be responsible to coordinate with the responsible utility company.



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Project Information

PARKING ADD. & COURTYARD RENOVATION
1091 CONFEDERATE RD
MADISON, GA 30650
ZONING: R1

DRAWING DATE:	2/11/2026
ADDRESS BY:	DLD
CHECKED BY:	JPB
DATE:	DESCRIPTION:

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Sheet Title
COVER SHEET

Sheet Number
CV-1.0